

Bedford Commons
Planned Unit Development Code

Adopted

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GATEWAYPLANNING
A VIALTA GROUP PARTNER

**Bedford Commons
Development Code
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1.0 Introduction

In June 2013, the Bedford City Council adopted a vibrant vision for Central Bedford or Bedford Commons that takes advantage of its regional location in the Dallas-Fort Worth Metroplex.

This comprehensive long-term vision is for the redevelopment of this low-density, auto-oriented area with strategic regional linkages into a true urban neighborhood anchoring existing and new local, regional, and national businesses together with a central public “commons”.

This document provides the regulatory tools for new development and redevelopment consistent with the Illustrative Vision for Bedford Common. Illustrations and images (concept plans, sketches and photographs) are used throughout the document to provide guidance to property owners, applicants, and developers on the development intent and are not to be construed as regulatory.

1.1 Purpose and Intent

The purpose of the Bedford Commons Planned Unit Development Code (BC-DC) (hereinafter, “the Code”) is to implement the vision for a more walkable, vibrant, mixed use neighborhood in the heart of Bedford, Texas (hereinafter, “Bedford Commons” or “the Commons”) by:

- (a) Coordinating public and private investments for the greatest effect including the private investments already underway in the area; and
- (b) Providing greater walkability within the Commons and to adjoining community destinations and neighborhoods;

Therefore, the goals of the BC-DC are to promote a more functional and attractive community through the use of recognized urban design principles and allow property owners flexibility in land use, while prescribing a higher level of detail in building design and form than in the current standards of the City’s Zoning Ordinance. The standards in this code are not intended to stifle creativity nor over-regulate building design but rather encourage better functional urbanism to create higher quality pedestrian environments along most streets.

1.2 Illustrative Vision

The BC-DC and its associated Regulating Plan are based on the Illustrative Vision for redevelopment within the Bedford Commons as established in Attachment A-2. The Illustrative Vision and the illustrative images used throughout this document are not regulatory. Rather, they are intended to provide property owners, developers, and the general public information on the intended character of redevelopment and help guide their projects to better meet the standards in this Code.

2.0 Components of the Code

2.1 The Regulating Plan

The Bedford Commons Regulating Plan map (herein known as the Regulating Plan) (Attachment A-1) is hereby adopted as the official zoning map for the Bedford Commons. Within any area subject to the approved Regulating Plan, this Code becomes the exclusive and mandatory regulation unless specified in Section 3.2 of this Code. It shall establish the following development standards for all properties within the Commons:

(a) **Establishment of Character Zones** – The Bedford Commons is distinguished into different “Character Zones”. Each Character Zone is intended to create a distinct urban form based on the vision for redevelopment in different areas of Bedford Commons. Each Character Zone shall establish use and building form standards including standards for building height, bulk, location, functional design, and parking. The Regulating Plan classifies all lots within the Commons into one of the following four (4) Character Zones:

- (i) Highway Mixed Use (HMU) – The Highway Mixed Use Character Zone includes the area with direct frontage along the highway – TX 183/121. These frontages are auto-oriented and the focus of the development standards is to create a more attractive front door into the Bedford Commons by focusing on aesthetic treatments along the highway frontage and maximizing gateway opportunities into the Commons. This would also be the Zone in which higher intensity restaurant and retail uses could take advantage of the highway access and visibility.
- (ii) Regional Retail and Employment (RRE) – The Regional Retail and Employment Character Zone essentially buffers the heart of the Bedford Commons from the Highway Mixed Use Zone. Given larger parcel assemblages and existing underutilized corporate sites and garden office developments, this Character Zone is the focus of regionally significant retail and employment uses that do not need direct access or frontage along the highway, but can provide much needed day-time population to support the retail and restaurants in the area.
- (iii) Core Mixed Use (Core MU) – The Core Mixed Use Zone focuses on transforming Parkwood Drive from the TX 183/121 Frontage Road to L. Don Dodson Dr. into a true “Main Street”. Development standards in this Character Zone would be geared towards buildings closer to Parkwood Drive with streetscape improvements and on-street parking that support a walkable mixed use context with a wide mix of smaller scale retail, office, and entertainment uses. This Zone can take advantage of its proximity, access to, and visibility from TX 183 /121.
- (iv) Civic Mixed Use (Civic MU) – The Civic Mixed Use Character Zone creates a mixed use zone that is anchored by urban residential uses, civic uses and civic/open spaces along L. Don Dodson Dr. and north to Bedford Road. Development standards within this Character Zone specifically address the transformation of large undeveloped or underdeveloped super-blocks into smaller pedestrian-friendly blocks and associated civic/open spaces. One major civic space in the form of a “Central Commons” is envisioned at the intersection of L. Don Dodson Dr. and Parkwood Dr.

(b) **Street Designations** – The streets within BC-DC shall be classified in two different ways.

- (i) *Street Classification* shall address elements within the Right-of-Way (R-O-W) including vehicular lane widths, number of lanes, pedestrian accommodation, street tree requirements, on-street parking, and parkway and median standards. These standards are laid out in Section 8.0 and Attachments A-3 and A-4.

(ii) *Street Network* shall establish the phasing significance (Required or Recommended) of different street segments within Bedford Commons. Refer to Section 8.0 Street Design Standards and Attachments A-3 and A-4 for the detailed regulations. Required Streets shall be mandatory and shall generally meet the locational and connectivity goals of the Regulating Plan. Recommended Streets indicate the desired locations of future streets needed to implement the overall vision of the proposed development. The alignment of Recommended Streets is intended to be flexible. The Street Network also indicates existing and/or improved streets and recommended alley or cross access easements within the Commons.

- (c) **Development Frontage Types** – Development Frontage Types classify different block frontages based on the pedestrian priority goals of the redevelopment vision on the Regulating Plan (Attachment A-1). All block frontages are classified into one of two frontage types: (i) Type ‘A’ Frontage with the highest quality development standards for pedestrian-oriented building design; and (ii) Type ‘B’ Frontage that mainly accommodates service, utilities, and parking functions while still addressing basic pedestrian access and safety.

Type ‘A’ and ‘B’ Frontages are established in the Regulating Plan (Attachment A-1). When a new or existing block does not have any designated Type ‘A’ frontages per the Regulating plan, a minimum of one block face per each block on the Regulating Plan shall be developed to meet the standards of Type ‘A’ Development Frontage in all Character Zones except the Highway Mixed Use Zone. The Type ‘A’ Development Frontage shall be maintained on both sides of the street. Maintaining continuity of adjacent street or block face Type ‘A’ frontages shall inform the selection of the specific block face to be developed with a Type ‘A’ Frontage.

- (d) **Civic/Open Space Designations** – All residential and mixed use development shall provide a minimum of 10% of the gross site area as Civic/Open Space. Open Space within the BC-DC shall be categorized as Required Civic/Open Space and Recommended Civic/Open Space as identified in the Regulating Plan (Attachment A-1). The detailed Civic/Open Space Standards for different open space types are included in Section 10.0 and Attachment A-5 of this Code. These standards include general character, typical size, frontage requirements, and typical uses.
- (e) **Other Designations** – The Regulating Plan also depicts special elements such as Terminated Vistas and Gateway Elements. Special design standards shall apply for development at these locations per Section 7.0.

2.2 Development Standards: The BC-DC text portion of this Code enumerates the development standards with text and graphics for Character Zones, Frontage Types, building form, landscape, building design, signage, and lighting.

2.3 Using This Document

The following basic steps should be followed to determine the uses and development standards applicable on property within the Bedford Commons:

- (a) Review the Table 3-1 to evaluate the applicability of the BC-DC based on scope of the proposed development.
- (b) Locate the subject property on Bedford Commons Regulating Plan (Attachment A-1).
- (c) Identify on the Regulating Plan:
- (i) The Character Zone in which the property is located;
 - (ii) The Street Priority designation (required or recommended) along all its street frontages;

- (iii) The Development Frontage Type along all its block frontages and adjoining block frontages (Type 'A' or Type 'B' Frontage)
 - (iv) Any Terminated Vista or Gateway Element designation that may be applicable to the subject property and,
 - (v) Any civic/open space designations that may be applicable to the subject property.
- (d) Review the Schedule of Uses by Character Zone as listed in Table 5-1 to determine allowed uses.
 - (e) Examine the corresponding zone standards in the Building Form and Development Standards in Section 6.0 to determine the applicable development standards.
 - (f) Refer to Section 7.0 for Building Design Standards, Section 8.0 for Street Design Standards, Section 9.0 for Streetscape and Landscape Standards, Section 10.0 for Civic/Open Space Standards and Section 11.0 for Sign Standards.

The above list provides the basic steps to be followed in order to determine the uses and development standards applicable on property within Bedford Commons during Site Plan Review and during Building Permit Review.

The information in the sections listed above explain where the building will sit on the lot, the limits on its physical form, the range of uses, and the palette of materials that will cover it. For more specific dimensions and standards applicable to a particular property, consult with Development Department Staff.

3.0 Administration

3.1 Applicability

- (a) The uses and buildings on all properties within the Bedford Commons zoning classification shall conform exclusively to this Code unless specifically referenced as otherwise in this Code.
- (b) Table 3-1 (Applicability Matrix) shall determine the extent to which different sections of the BC-DC apply to any proposed development.
- (c) Provisions of this BC-DC are activated by “shall” when required; “should” or “may” when recommended or optional.
- (d) Terms used throughout this Code are defined in Section 4.0 Definitions. For those terms not defined in Section 4.0 Definitions, Section 1.2 Definitions of the City of Bedford Zoning Ordinance, Section 1.10 Definitions of the City of Bedford Subdivision Regulations, and Section 6-67 Definitions of the City of Bedford Sign Ordinance shall apply. For terms not defined in either section, they shall be accorded commonly accepted meanings. In the event of conflict, the definitions of this Code shall take precedence.
- (e) Where in conflict, numerical and written standards shall take precedence over graphic standards.

3.2 Relationship to Other City Ordinances

- (a) For all properties zoned as the Bedford Commons, the standards in this document shall supersede the following Ordinances unless specifically referenced herein:
 - i. Zoning Ordinance
 - ii. Subdivision Regulations
 - iii. Sign Ordinance
- (b) Development standards not addressed in this ordinance shall be governed by the City Bedford Ordinances to the extent they are not in conflict with the intent or text of the BC-DC.

Table 3-1: Applicability Matrix

Legend

● = Section of the Code Applies

Blank denotes Standards in this Section of the Code does not apply

Code Section	Section 5.0: Schedule of Uses				Section 6.0: Building Form and Site Development Standards				Section 7.0: Building Design Standards				Section 8.0: Street Design Standards				Section 9.0: Streetscape and Landscape Standards				Section 10.0 Civic/Open Space Standards		Section 11.0: Sign Standards	
	Build-to zones and setbacks	Building Frontage	Building Height	Parking and Service Access	Street Classification and Cross Sections	Street Network	Sidewalk, Street Trees and Streetscape	Street Screen and Parking Lot Landscaping	Street Lighting and Furniture	Utilities														
Type of Development																								
a. New Construction		All Sections of the BC-DC apply																						
b. Existing Building Remodel: Existing nonconforming buildings and/or sites may be repaired, maintained or altered provided that such repair, maintenance, or alteration shall <u>neither create any new nonconformity nor shall increase the degree of the existing nonconformity</u> of all or any part of such structure or site.																								
i. Change of Use/Expansion of Existing Use (without expansion of conditioned building area) (to a permitted or Specific Use in the designated Character Zone)		●			●									●						●				
c. Expansion of Existing Buildings (regardless of size of expansion): Existing nonconforming buildings and/or sites may be enlarged or expanded provided that such enlargement shall <u>neither create any new nonconformity nor shall increase the degree of the existing nonconformity</u> of all or any part of such building or site. The BC-DC applicable sections shall apply only to proposed building expansions.		●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●			
d. Expansion of parking area only (with or without a building or use expansion) (includes off-site or accessory parking)																								
i. Up to 10 spaces			●		●																			
ii. 11 or more additional spaces			●		●		●						●											

¹ Fee in lieu payment shall be made for streetscape, sidewalk, street lighting and street furniture improvements on a pro-rata lot frontage basis on the percentage of expansion of the existing building area. For example a 30% increase in conditioned sq. footage of the building shall pay the cost of streetscape and sidewalk for 30% of the street frontage of the subject lot.

Legend

● = Section of the Code Applies

Blank denotes Standards in this Section of the Code does not apply

Code Section	Section 5.0: Schedule of Uses				Section 6.0: Building Form and Site Development Standards				Section 7.0: Building Design Standards				Section 8.0: Street Design Standards				Section 9.0: Streetscape and Landscape Standards				Section 10.0 Civic/Open Space Standards		Section 11.0: Sign Standards	
	Build-to zones and setbacks	Building Frontage	Building Height	Parking and Service Access	Street Classification and Cross Sections	Street Network	Sidewalk, Street Trees and Streetscape	Street Screen and Parking Lot Landscaping	Street Lighting and Furniture	Utilities	Street Classification and Cross Sections	Street Network	Sidewalk, Street Trees and Streetscape	Street Screen and Parking Lot Landscaping	Street Lighting and Furniture	Utilities	Street Classification and Cross Sections	Street Network	Sidewalk, Street Trees and Streetscape	Street Screen and Parking Lot Landscaping	Street Lighting and Furniture	Utilities		
Type of Development																								
<i>Table 3-1 Continued</i>																								
e. Existing Signage																								
i. Refacing or changing a panel on an existing sign																								
ii. Alteration of an existing sign (costing less than 50% of the replacement value of sign): Existing nonconforming signs may be repaired, maintained, altered, or enlarged provided that such repair, maintenance, alteration, or enlargement shall <u>neither create any new nonconformity nor shall increase the degree of the existing nonconformity</u> of any part of such a sign. (applies during sign permit review only)																								
f. New sign or alteration of a sign (costing more than 50% of the replacement value of the sign) or complete replacement of an existing sign (applies during sign permit review only)																								

3.3 Development Review Process

- (a) **Site Plan Required:** A Site Plan approved by City Council after a recommendation by the Planning and Zoning Commission shall be required for all new development or redevelopment in Bedford Commons .
 - (b) **Presubmittal Meeting Required:** All projects shall have a presubmittal meeting with the Planning staff prior to submitting the site plan for development. At the presubmittal meeting, the Planning staff shall provide information on the requirements for development and submittal within Bedford Commons.
 - (c) **Formal Submittal Process:**
 - i. The following approval process shall apply: Following a pre-submittal meeting and a complete application, the Development Director shall review and forward the application for Planning and Zoning Commission recommendation and City Council decision. The process for approving site plans in the Commons shall be in accordance with the process established for approving Site Plans under Section 5.4 of the City of Bedford Zoning Ordinance. A Public Hearing shall be required at both Planning and Zoning Commission and City Council meetings. No building permit shall be issued without a City Council approved site plan.
 - ii. Alternatives to the standards set forth in this Code may be proposed by the applicant, recommended by the Planning and Zoning Commission and approved by the City Council in accordance with the process established for approving Site Plans under Section 5.4 of the City of Bedford Zoning Ordinance. (See Development Review Process Flow Chart in Attachment A-6)
 - (d) **Submittal Materials:** A list of required materials is included in the Bedford Commons development application package available from the City's Planning Department. In addition to the information required for site plans as established in Section 5.4 of the City of Bedford Zoning Ordinance, the applicant shall also provide documents and graphics that adequately demonstrate compliance with all applicable sections of the BC-DC.
 - (e) **Specific Use Permits:** All uses requiring a Specific Use Permit as established in Section 5 of this code shall be processed per the standards in Section 5.3 of the City of Bedford Zoning Ordinance.
 - (f) **Zoning Board of Adjustment:** In addition to any authority set forth in the City of Bedford Zoning Ordinance, the Zoning Board of Adjustments has the authority to hear and decide appeals where it is alleged that there is error in any order, requirement or decision made by the Development Director or other official charged with or delegated the authority to enforce this Code.
- 3.4 Plat Approval:** The applicant shall follow the City of Bedford Subdivision Regulations, for the plat approval subject to the requirements for public infrastructure per this Code.
- 3.5 Nonconforming Uses:** Shall meet standards in Section 2.3.C and 2.3.E of the Bedford Zoning Ordinance.
- 3.6 Nonconforming Structures and Sites:** A nonconforming structure or site may be altered or enlarged, provided that such alteration or enlargement shall neither create any new nonconformity nor shall increase the degree of the existing nonconformity of all or any part of such structure or site.
- 3.7 Amendments to the Code:** Amendments and changes to the Regulating Plan, text and property boundaries shall be in accordance with the procedure set out in Section 6.3 of the City of Bedford Zoning Ordinance.

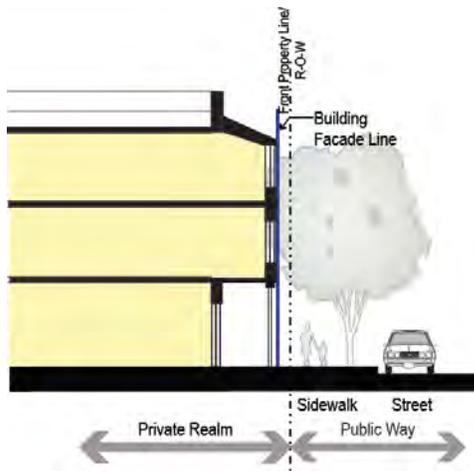
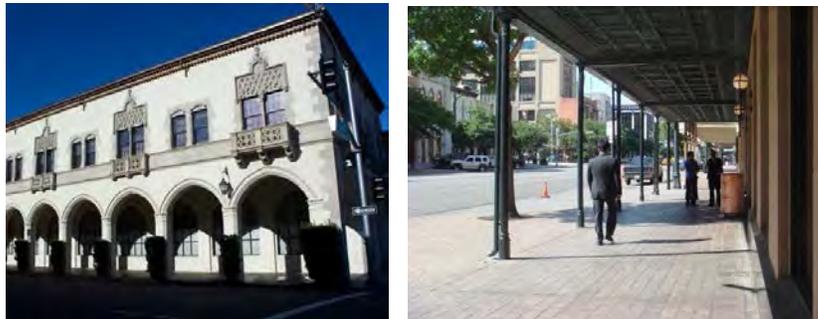
4.0 Definitions

Many terms used in this Document are defined in the Section 1.2 of the City of Bedford Zoning Ordinance. Definitions are only included here if not defined in the Zoning Ordinance, Subdivision Regulations, or Sign Ordinance, or if the definition for this Document differs from the existing definitions. In case of a conflict between the definitions under this Section and other city ordinances, the definitions in this section shall supersede.

A

Arcade

Is a portion of the main façade of the building that is at or near the property line and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and the arcade may be one or two stories. The ground floor area within the arcade may be conditioned or non-conditioned space.



Images of arcade buildings

B

Bedford Commons

The Bedford Commons or simply known as the “Commons” is the zoning designation intended to implement the Vision for a downtown that is to become the heart of the community. It facilitates pedestrian oriented, mixed-use, infill redevelopment, providing shopping, employment, housing, and business and personal services.

Bedford Commons Regulating Plan (Regulating Plan)

Is the official Zoning Map for Bedford Commons. The Regulating Plan (Attachment A-1) graphically depicts Character Zones, Street Designations, and Special Requirement(s) applicable to properties within Bedford Commons.

Bedford Commons Illustrative Vision

Is the City Council adopted Master Plan and Vision for redevelopment of Bedford Commons. The Illustrative Vision (Attachment A-2) serves as a meaningful policy guide for City officials, City staff, property owners, private developers, and citizens when considering development/redevelopment decisions in Bedford Commons. All development and redevelopment shown in the Illustrative Vision is conceptual and non-binding.

Build-to Zone (BTZ)

Is the area between the minimum and maximum front setbacks from the property line. The principal building façade line shall be located within this area.

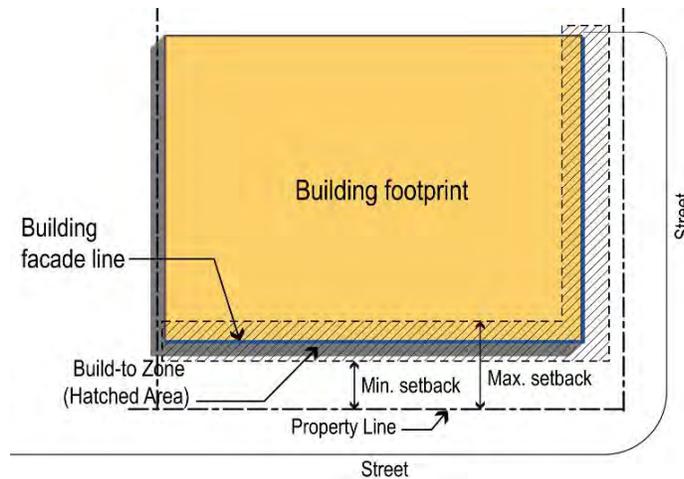


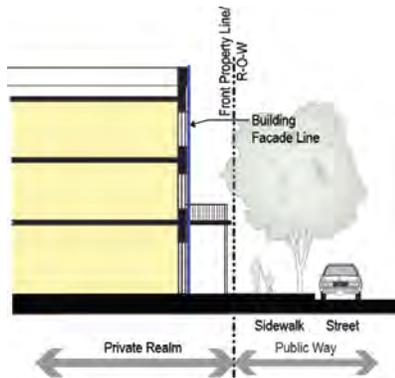
Illustration indicating the location of the build-to zone relative to the minimum and maximum setbacks and the building façade line

Building Form and Site Development Standards

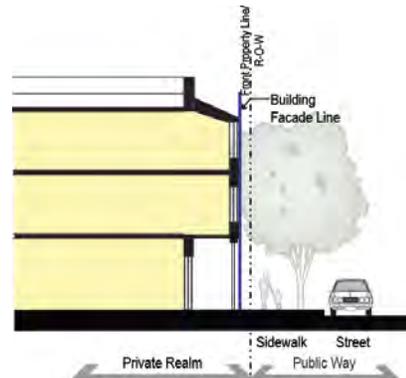
Are the standards established for each Character Zone including but not limited to building placement, building height, parking, service access, and other functional design standards.

Building Façade Line

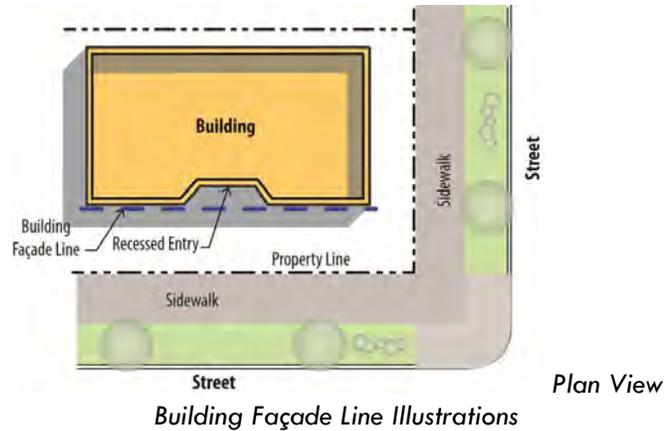
Is the location of the vertical plane of a building along a street frontage.



Section View – Gallery Building



Section View – Arcade Building



Building Façade

Is the percentage of a building's façade line that is required to be located within the Build-to Zone (BTZ) as a proportion of the lot's width along the fronting public street. Required driveways, stairs to access entrances, parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall count towards the required building façade.

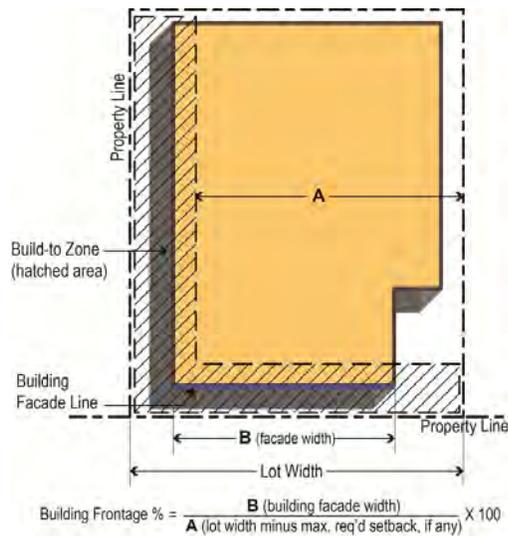


Image showing Building Façade calculation

C

Character Zone

Means an area within Bedford Commons that is intended to preserve and/or create an urban form that is distinct from other areas within Bedford Commons. Character Zones are identified on the Regulating Plan.

Civic/Open Space

Is publicly accessible open space or civic space in the form of parks, courtyards, forecourts, plazas, greens, playgrounds, squares, etc. provided to meet the standards in Section 10.0 of this Code. Civic/Open space may be privately or publicly owned and/or maintained.

Commercial Use or Mixed Use Building

Means a building in which at least the ground floor of the building is built to Commercial Ready standards and any of the floors are occupied by non-residential or residential uses.

Commercial Ready

Means a ground floor space constructed with appropriate building orientation, entrance and window treatment and floor-to-floor height in order to accommodate ground floor retail/commercial uses (including but not limited to commercial, retail, restaurant, entertainment, and lobbies for civic, hotel, or multi-family uses). Standards for Commercial Ready frontages are in Section 6.1 of this Code. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Commercial Ready space, the space must comply with all building and construction codes for commercial uses. The intent of Commercial Ready space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

D

Development Frontage Type

As identified on the Regulating Plan, existing and future blocks in Bedford Commons are designated as Type 'A' or Type 'B' frontage. Each frontage type establishes a certain development context in order to improve walkability and pedestrian orientation within Bedford Commons.

Director

Shall be the Development Director of the City of Bedford or his/her designee.

E

Encroachment

Means any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony that breaks the plane of a vertical or horizontal regulatory limit, extending into a setback, into the public right-of-way, or above a height limit.

F

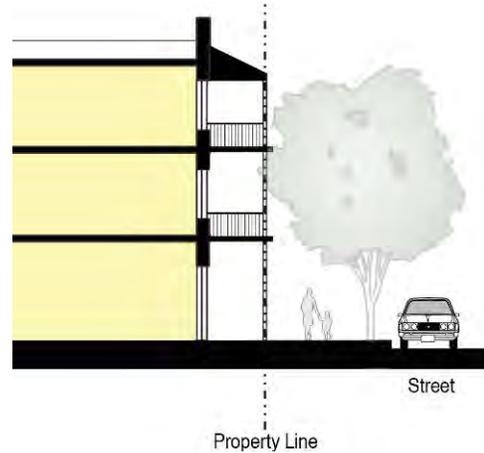
Façade Area

Means the surface area of a building's elevation (including all floors) not counting minor indentations fronting a particular street. Ground floor façade area is the surface area of a building's ground floor elevation not counting minor indentations fronting a particular street. Upper floor façade area is the surface area of a building's upper floor elevations not counting minor indentations fronting a particular street.

G

Gallery

Is a roofed promenade or canopy, especially one extending along the wall of a building and supported by arches or columns on the outer side. The gallery space is unenclosed (non-conditioned) space and may be 2 or more stories tall.



Images of Galleries

H

I

J

K

L

Live-Work Unit

Means a dwelling unit that is also used for work purposes, provided that the 'work' component is restricted to the uses of professional office, artist's workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The 'live' component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by the City of Bedford Zoning Ordinance in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.

M

N

Numerical Standard

Means any standard that has a numerical limit (minimums and maximums) or value as established within both the text and graphic standards of the BC-DC.

O

P

Parking Setback Line

Means the distance that any surface parking lot is to be set back from either the principal building façade line or property line along any street frontage (depending on the specific standard in the Character Zone). Surface parking may be located anywhere behind the parking setback line on the property.

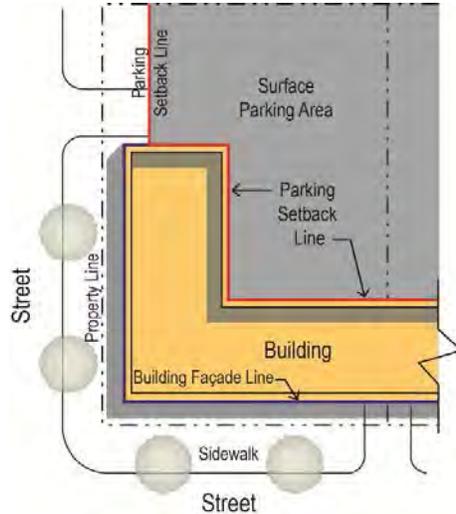


Illustration of a parking setback line

Perimeter Frontage

Means the measurement of the proportion of public street frontage of the total exterior perimeter of a park or civic/open space area.

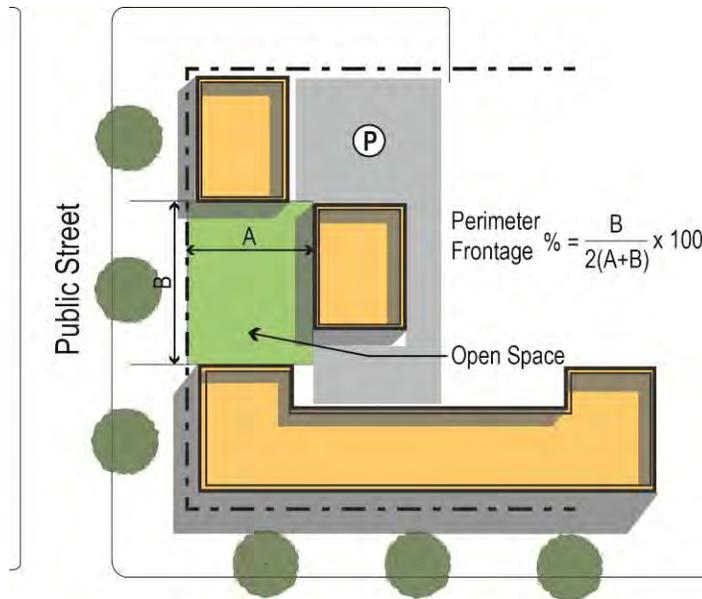


Illustration showing how Perimeter Frontage is calculated for Open Space along a Public Street

Primary Entrance

Means the public entrance located along the front of a building facing a street or sidewalk and provides access from the public sidewalk to the building. It is different from a secondary entrance which may be located at the side or rear of a building providing private controlled access into the building from a sidewalk, parking or service area.

Q

R

Residential Use Building

Means a building that is built to accommodate only residential uses on all floors of the building such as a detached single family home, attached single family home (i.e. townhome), two family home (i.e. duplex), multiple family (3 or more), apartment building (under single ownership or under multiple owners within a condominium regime).

S

Service-related Uses

Means all uses that support the principal use on the lot including parking access, garbage/trash collection, utility meters and equipment, loading/unloading areas, and similar uses.

Street Screen

Is a freestanding wall or living fence or combination fence built along the frontage line or in line with the building façade along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



Image of a combination masonry and living street screen

Street Wall

Indicates the creation of a “wall” or a sense of enclosure along the street with buildings placed immediately adjacent to the street/sidewalk. A street wall has a “void” if there is a surface parking lot or service area adjacent to the sidewalk/street.

T

U

Utility Compatible Trees

Are trees that are single trunk trees in order to minimize potential conflict with overhead utility lines and pedestrians.

V

W

5.0 Schedule of Permitted Uses

5.1 Applicability: Due to the emphasis on urban form over land uses in Bedford Commons, general use categories have been identified by Character Zone (Table 5-1). Uses requiring Specific Use Permits shall meet standards in Section 3.2 of the City of Bedford Zoning Ordinance.

Legend

- P** Unconditional Permitted Use
- Prohibited (blank cell)
- S** Specific Use Permit / Public Hearing Required
**See Section 3.2 of the City of Bedford Zoning Ordinance for requirement of Specific Use Permits*

Character Zone

- HMU** Highway Mixed Use
- RRE** Regional Retail and Employment
- Core - MU** Core Mixed Use
- Civic - MU** Civic Mixed Use

Table 5-1 Schedule of Uses

USE		Character Zone			
		HMU	RRE	Core - MU	Civic- MU
A. RESIDENTIAL					
Household	One Family Dwelling Detached				
	Two Family Dwelling / Duplexes				
	Townhouse / Rowhouse / Three, Four Family Dwellings, Attached				P
	Multi-family Dwelling / Apartments / Condominium				P
	Apartment(s) as Secondary Use	S			
	Multi-family Dwelling / Apartments/Condominium (upper floors only)	S	S	P	P
Mobile	HUD Code Manufactured Home				
	Mobile Home				
	Industrialized Housing				
	Modular Home				
Other	Hotel	P	S		S
	Motels	S			
	Residence Motel / Inn	S			
	Recreational Vehicle Camp Grounds				
	Rooming Houses & Boarding Houses				
Group	Dormitories, Fraternity & Sorority Houses				
	Retirement Homes				
	Religious Convents, Rectories & Monasteries				
	Nursing, Rest & Convalescent Homes				
	Orphanages				
	Community Home				
	Group Home				S

Table 5-1 Schedule of Uses				
USE	Character Zone			
	HMU	RRE	Core – MU	Civic- MU
B. RELIGIOUS & PHILANTHROPIC				
Churches, Temples & Synagogues	S	S	S	S
Temporary Revival, Gospel or Evangelistic Tents & Shelters	S	S		
Eleemosynary Institutions				
C. EDUCATIONAL				
Primary & Secondary Schools	S	S	S	S
Junior Colleges, Colleges & Universities	S	P		
Vocational, Technical & Trade Schools	S	P		
Children's Day Care Centers	S			P
Adult Day Care Centers	S			
Private Business & Professional Schools	S	P		
D. COMMUNITY FACILITIES				
Municipal Administration & Public Service Buildings & Facilities	P	P		P
Police & Fire Stations & Facilities	P	P		P
Parks, Playgrounds, Play Lots & Civic/Open Space Facilities	P	P	P	P
Community Garden (principal use of the land only)				P
Golf Courses, Club House & Related Facilities				
Commercial Swimming Pools, Tennis, Handball & Racquet Clubs	P			
Public Animal Pounds & Shelters	P	P		S
Public Maintenance Building & Storage Yards				
Cultural Buildings & Facilities			P	P
Social, Recreational & Assembly Building Facilities	P	P	P	P
Athletic Fields, Stadiums, Auditoriums & Gymnasiums	P	P		S
Cemeteries & Mausoleums				
Distribution Lines	P	P	P	P
Offices	P	P	P	P
Garages, Storage Buildings & Yards				
Energy Plants				
E. TRANSPORTATION & CIRCULATION				
Passenger Terminals: Bus				
Mass Transit Commuter Pickup Stations	S	S	S	S
Automobile Parking Lot & Areas (principal use)	P			
Automobile Parking Garages (Multi-story)	P	P	P	P
Motor Freight Terminals				
Bus, Truck & Taxi Storage Yards, Maintenance & Garaging				
Airports, Heliports & Helistops				

Utilities

Table 5-1 Schedule of Uses						
USE	Character Zone					
	HMU	RRE	Core – MU	Civic- MU		
F. RETAIL SALES/TRADE						
Food & Beverage	Convenience Grocery Stores (without Gasoline Sales)	P		P	P	
	Convenience Grocery Stores (with Gasoline Sales)	S				
	Convenience Stores with Drive-through Window (without Gasoline Sales)	P				
	Convenience Stores with Drive-through Window (with Gasoline Sales)	S				
	Bakery & Confectionery Shops (non-industrial)	P		P	P	
	Ice Cream & Dairy Food Shops (non-industrial)	P	P	P	P	
	Cafes, Cafeterias, Restaurants (without Drive-through windows)	P	P	P	P	
	Restaurants with Alcohol Sales	P	P	P	P	
	Meat, Fish or Poultry Markets: Excluding Slaughtering & Fish Cleaning	P		P		
	Meat, Fish or Poultry Markets: Without Restrictions as to the Above					
	Frozen Food Lockers (excluding slaughter)					
	Package Liquor Stores	S				
	Supermarkets	P	P			
	Drive-in & Drive-through Restaurants	P				
	General Merchandise	Micro-Winery/Brew Pub	P	P	P	P
		Drug Stores / Pharmacy (without Drive-through windows)	P	P	P	P
Drug Stores / Pharmacy (with Drive-through windows)		P				
Book, Stationary, News Stand, Souvenir, Gift & Novelty Shops		P	P	P	P	
Hardware & Appliance Stores		P				
Jewelry, Watch, Camera & Photo Service Pickup		P		P	P	
Music Store		P		P	P	
Florist Shops		P		P	P	
Plant & Garden Nurseries		P				
Landscape Services & Commercial Greenhouses						
Arts, Crafts, & Hobby Shops		P		P	P	
Outside Seating Establishment		P	P	P	P	
Household Furnishings & Fixtures Stores		P	P	P	P	
Wallpaper & Paint Stores		P		P	P	
Pet Shops		P		P	P	
Antique Shops		P		P	P	
Bicycle Shops & Repair Services	P		P	P		
Secondhand, Rummage & Used Furniture Stores	S					
Gun Shops	S					
Feed & Seed Stores	P					
Stone Monuments (excluding cutting of slabs)						

Table 5-1 Schedule of Uses					
USE	Character Zone				
	HMU	RRE	Core – MU	Civic- MU	
General	Building Materials / Lumber Yards	S			
	Automotive Parts Store	P			
	Boutiques, Shoe & Apparel Shops	P	P	P	P
	Tobacco Product Stores	S		S	
	Full Service Department & Discount Stores & Regional Shopping Centers & Discount Variety Stores	P	P		
	Pawn Shop	P			
	Motorcycle & Motor Scooter Sales / Service	P	P		
	Boats & Marine Craft Sales & Service	S			
	Farm Machinery & Farm Implements, Sales / Service	S			
	New & Used Cars & Truck Sales / Service	S			
	Motor Homes, Campers & Recreational Vehicles Sales / Service	S			
Mobile Home Sales / Service	S				
Automotive, Marine & Farm	Gasoline Service Stations & Pump Islands, as principal, accessory or secondary use & excluding overhauls, body work, spray painting & steam cleaning	S			
	Above, & Full Service Gasoline Service Stations	S			
	Above, & Gasoline Service Station w/ Convenience Store	S			
	Above, & Gasoline Service Station w/ Restaurant	S			
	Automotive Repair Shops & Garages, as principal, accessory or secondary Use	S			
	Automatic, Coin or Attendant Operated Car Wash Establishments	S			
	Automotive Glass, Trim & Upholstery Shops	S			
G. SERVICES					
Personal Services	Barber & Beauty Shops & Salons	P	P	P	P
	Music, Dance, Art, Drama & Photographic Studios	P	P	P	P
	Laundry & Dry Cleaning Establishments: Self-service Laundromat & Pressing	P			
	Laundry & Dry Cleaning Establishments: Pickup & Receiving Stations (without drive-through windows)	P	P	P	P
	Laundry & Dry Cleaning Establishments: Pickup & Receiving Stations (with drive-through windows)	P			
	Laundry & Dry Cleaning Establishments: Laundry, Dry Cleaning & Dyeing Plants				
	Massage Salon	P			P
	Health & Athletic Clubs	P	P	P	P
	Weight Reducing Studio / Salon	P	P	P	P
	Tanning Salon	P	P	P	P
Tattoo & Body Piercing Shop	S				

Table 5-1 Schedule of Uses					
USE	Character Zone				
	HMU	RRE	Core – MU	Civic- MU	
Medical & Veterinary Services	Funeral Homes & Mortuaries	S			
	Private Ambulance Services	S			
	Taxicab Dispatch Offices	S			
	Travel Bureau Offices	P	P	P	
	Taxidermist Shops	P			
	Taxidermist Studios	S			
	Domestic Household Pet Grooming Salons (excluding boarding)	P		P	
	Kennels (breeding, training or boarding)	S			
	Sign Shops (painted or silk screen)	S			
	Food Catering Services (non-industrial)	P			
Roadside Fruit, Vegetable & Produce Stands	<i>Outside Sales & Storage Permit Required</i>				
Medical & Veterinary Services	Unattended Commercial Kiosk				
	Medical, Dental, Chiropractic, Optometry & Pediatric Offices, Clinics & Laboratory Services	P	P	P	
	Hospitals & Medical Clinics (providing acute or extended patient care)	S			
	Rehabilitation Care Facility (psychiatric & mental disorders)	S			
	Rehabilitation Care Facility (substance abuse)	S			
	Rehabilitation Care Facility (Criminal -psychiatric, mental disorders & substance abuse)				
	Business & Professional Services	Animal Hospitals & Clinics for the Care & Temporary Boarding of Domestic Household Pets, Vets Offices & Clinics	P		
		Apothecaries & Pharmacies	P	P	P
		Medical Equipment Rental & Leasing Services	P		
		Real Estate, Insurance, Tax Preparation & Accounting	P	P	P
Law, Architecture, Engineering, Planning, Land Survey or Interior Design Offices		P	P	P	
Banks, Savings & Loans & Finance Offices (without drive-through windows)		P	P	P	
Banks, Savings & Loans & Finance Offices (with drive-through windows)		P			
Employment & Stenographic Offices		P	P	P	
Utility Offices & Paying Stations		P	P	P	
Advertising Agencies					
Business & Professional Services	Duplicating & Mailing Services & Office Supplies	P	P	P	
	Securities & Commodities Brokers, Dealers, Underwriters & Exchange Officers	P	P	P	
	Radio, Television, Recording & Telegraph Offices	P	P	P	
	Building Contractors & Related Trades (offices only)	P	P	P	

Table 5-1 Schedule of Uses					
USE	Character Zone				
	HMU	RRE	Core – MU	Civic- MU	
General Services	Building & Related Contractors Construction Yards & Storage Buildings	S			
	Pest & Rodent Exterminating Services	S			
	Water Well Drilling Services	S			
	Rental Services with Inside Storage	S			
	Rental Services with Outside Storage	S			
	Home Occupations	P	P	P	P
	Office Showroom	S	S		
	Office Warehouse	S	S		
	Apparel Alteration & Repair Shops	P		P	P
	Camera, Jewelry, Instrument & Watch Repair Shops	P		P	P
	General "Fix-it" Shops (i.e. saw filing, knife & scissors sharpening & lawnmower repair)	P			
	Plumbing, Heating, Air-conditioning bldg. & Electrical Shops	P			
	Piano & Musical Instrument Repair Shops	P		P	P
	Furniture Repair & Upholstery Shops	P			
	Auction Barns & Facilities	S			
	Self-service Storage Facilities (mini-warehouses)	S			
H. ENTERTAINMENT & AMUSEMENTS					
Food	Indoor Motion Picture Theatres	P	P		
	Outdoor Drive-in Theatres	S			
	Ice- & Roller Skating Rinks & Arenas	P	P		
	Bowling Alleys	P	P		
	Banquet & Meeting Facilities	P	P		P
	Commercial & Private Clubs, Lodges & Fraternal	P	P		P
	Indoor Amusement Centers	P	P		
	Indoor Amusement Centers (educational)	P	P		
	Indoor Archery, Rifle & Pistol Shooting Ranges	S			
	Miniature Golf Courses, Golf Driving Ranges & Batting Cages	S			
	Indoor Miniature Golf Course & Driving Range	S			
	Rodeo Grounds	S			
	Equestrian Riding Stables & Show Rings	S			
	Circus, Carnival & Fairgrounds (temporary permit only)	S			
	Sexually Oriented Business				
	I. INDUSTRIAL				
Food	Beverage Processing, Bottling & Packaging (soft drinks & fruit juices)				
	Candy & Confectionery Manufacturing & Packaging				

Table 5-1 Schedule of Uses				
USE	Character Zone			
	HMU	RRE	Core – MU	Civic- MU
R & D	Fruit & Vegetable Processing (including canning, preserving, drying & freezing)			
	Dairy Products Mfg. & Wholesale Distribution			
Storage & Distribution	Food Catering			
	Scientific Research, Development & Testing Laboratories	S	S	
	Scientific Research & Development Offices Only	P	P	
	Wholesale Food Facility			
	Bakeries (wholesale)			
	Moving, Transfer & Storage Companies			
	Wholesale Automotive Vehicles & Equipment			
	Other General Storage Warehouse & Distribution Centers			
	Heavy Construction Equipment & Implements (including repair services)			
	Chemicals & Allied Products Mfg. & Packaging			
Manufacturing & Assembly	Industrial Spray Painting & Paint Mixing			
	Prof., Scientific & Controlling Instrument Mfg.			
	Wood, Paper & Leather Products Assembly & Mfg.			
	Textiles & Fiber Products Mfg. & Finishing			
	Plastics & Rubber Products Mfg., Molding & Assembly			
Mfg. & Assembly	Stone, Glass & Clay Products Mfg.			
	Printing, Publishing & Allied Products			
	Metals & Metals Product Mfg. & Assembly			
	Welding Shops			
	Oil/Gas Drilling and Production	S	S	S

6.0 Building Form and Site Development Standards

All parcels within Bedford Commons are assigned to one of four Character Zones:

1. Highway Mixed Use
2. Regional Retail and Employment
3. Core Mixed Use
4. Civic Mixed Use

In addition to standards that apply to all Character Zones, Building Form and Site Development standards applicable to each Character Zone are described in Sections 6.2 – 6.5.

The images and graphics in first subsection of each Character Zone standards are provided as illustrative of intent and are advisory only without the power of law. Refer to the standards on the following pages for the specific Building Form and Site Development Standards for each Character Zone.

In addition, the graphics used to illustrate the building form and development standards in each character zone are NOT intended to indicate exact conditions within each Character Zone. Rather illustrations are conceptual and standards are to be applied based on the specific frontage types designated along the subject property or site. For example, a specific site may not have frontages along all streets as indicated in the illustrations and only the standards applicable to designated building frontages on the property should be used. In addition, the illustrations may depict other site elements to establish context and only the standards regulated by the specific subsection shall apply. For example, the Building Placement graphics may depict sidewalks for context purposes only and the graphic should only be used to establish standards for building placement on the site. Building form graphics in these sections are NOT TO SCALE.

6.1 General to All Character Zones

- (a) **Development Frontage Types:** Development Frontage Types are established on the Regulating Plan (Attachment A-1) to specify certain building form and site development standards along each block frontage based on the priority placed on pedestrian-orientation. For the purposes of this code, all blocks are classified into one of the following two Development Frontage Types:
- i. Type 'A' Frontages – Type 'A' Frontages are intended to provide the most pedestrian friendly and contiguous development context. Buildings and sites along Type 'A' Frontages shall be held to the highest standard of pedestrian-oriented design and few, if any, gaps shall be permitted in the 'Street Wall'. Breaks in the street wall may be permitted for courtyards, forecourts, sidewalk cafes, and pedestrian connections between the individual sites and the public sidewalk. These street frontages are the main retail, restaurant, entertainment streets as identified in the Regulating Plan.
 1. Specific to Type 'A' Frontages: The area between the building facade and property line or edge of any existing sidewalk along any street with Type 'A' Frontage shall be designed such that the sidewalk width shall be a minimum of 6' and the remainder of any setback area shall be paved flush with the public sidewalk. Sidewalk cafes, public art, landscaping within tree-wells or planters may be incorporated within this area.

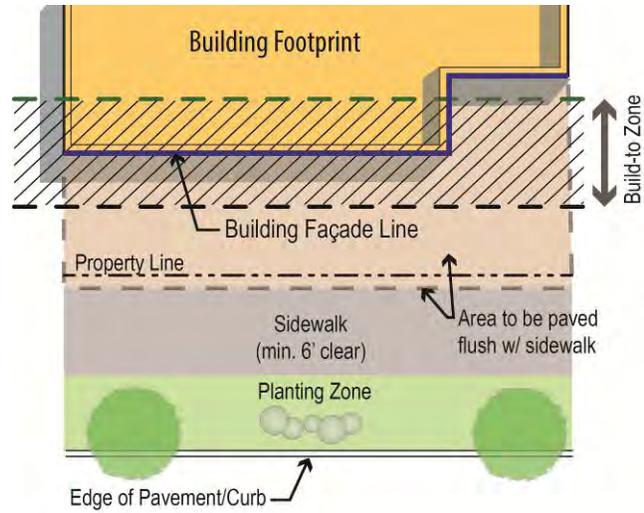


Illustration showing requirements along Type 'A' Frontages

- ii. **Type 'B' Frontages** – Type 'B' Frontages are intended to accommodate more auto-oriented uses, surface parking, and service functions on a site with a more suburban/automobile orientation. The Type 'B' Frontages shall be building frontages shall be the ones not designated as Type 'A' Frontages on the Regulating Plan.

(b) Treatment of Street Intersections:

- i. **Corner building street facades** along intersections with any designated Type 'A' Frontage shall be built to the BTZ for a minimum of 20' from the intersection along each street or the width of the corner lot, whichever is less regardless of the building frontage percentage required along that street. This requirement shall not prohibit incorporation of curved, chamfered building corners or recessed entries, or civic/open spaces at such intersections. In addition, this standard shall apply regardless of the frontage requirement along the intersecting street even if it has a Type 'B' Frontage.

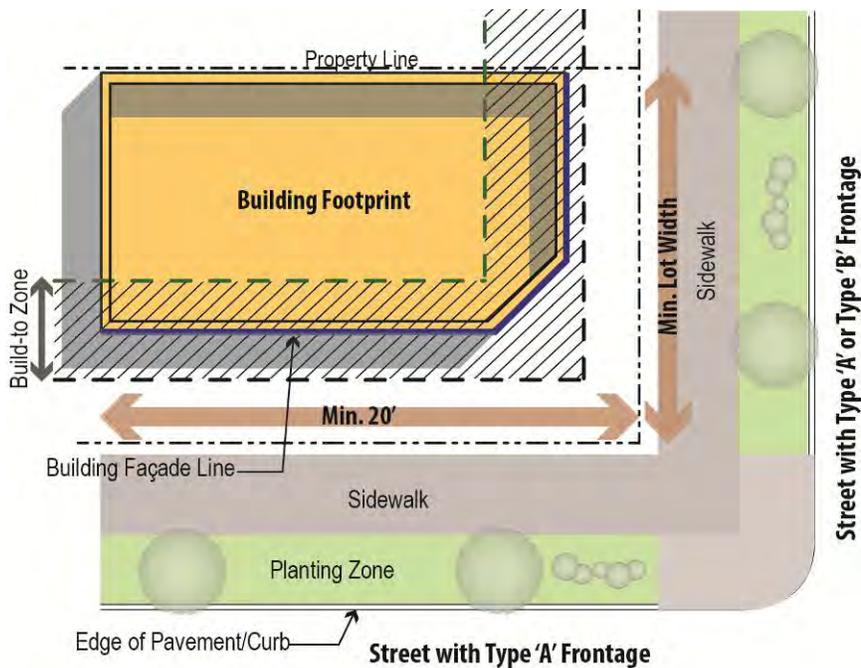


Illustration showing minimum building frontage requirements at street intersections

- ii. Corner Building Height Allowance: Corner buildings may exceed the maximum building height by 25% along no more than 20% of the building’s frontage along each corresponding street façade.

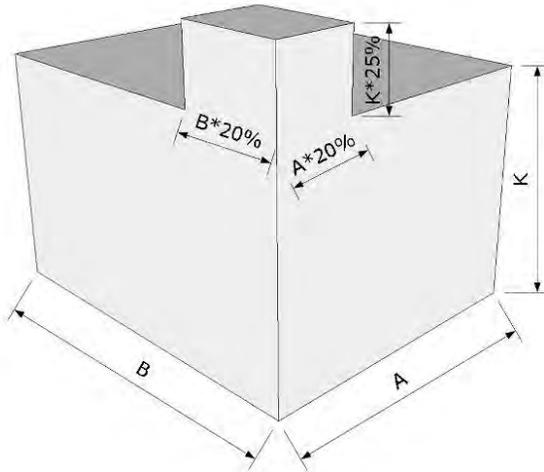


Illustration showing Corner Building Height Allowance

(c) Parking and Service Access:

- i. Location of parking (both structured and surface) shall be per the Character Zone specific building form standards (Section 6.2 – 6.5).
- ii. Required off-street parking spaces: shall be provided per Table 6-1 below unless alternative standards are proposed by an applicant and approved as part of the Site Plan process.

Table 6-1 Parking Ratios

Character Zone	Highway Mixed Use	Regional Retail and Employment	Core Mixed Use Civic Mixed Use	Additional Criteria
Min. Off-Street Vehicular Parking Requirement				
All Non-Residential uses and ground floor Commercial Ready spaces	1.0 space per 300 sq.ft. of building area	1 space per 300 sq.ft. of building area	1 space per 300 sq.ft. of building area	1. The design of off-site parking shall meet the standards in Section 5.3 of the City of Bedford Zoning Ordinance 2. Landscaping within surface parking lots shall meet standards in Section 5.6 of the City of Bedford Zoning Ordinance. 3. A shared parking plan or alternative parking plan may be approved as part of the site plan application 4. On-street parking located along any public street shall not count towards the required off street parking
Residential uses	2.0 spaces per each dwelling unit	2.0 spaces per each dwelling unit	2.0 spaces per each dwelling unit	
Lodging uses (hotels and motels)	1.0 space per guest room; all other areas shall be parked at the non-residential rate above	1.0 spaces per guest room; all other areas shall be parked at the non-residential rate above	1.0 spaces per guest room; all other areas shall be parked at the non-residential rate above	
Min. Bicycle Parking Requirement				
All uses	NA	NA	5% of all provided automobile spaces	Location of Bicycle Parking: For retail and commercial ready buildings, 25% of all provided bicycle parking shall be located within 50 feet of a primary building entrance. Bicycle parking may be provided within the street R-O-W next to the sidewalk.

iii. Driveways and Service Access:

1. Unless otherwise specified in the specific Character Zone standards in Sections 6.2 through 6.5, driveways and off-street loading and unloading may be located with access along a street with Type 'A' Frontage designations only if the property has no access to either a street with Type 'B' Frontage or shared access easement/drive to an adjoining property with direct driveway access to any other street.
2. Along streets with Type 'A' Frontages, driveway spacing shall be limited to one driveway per each block face or per 200 feet of block face for blocks greater than 400 feet in length.
3. Shared driveways, joint use easements or joint access easements shall be required to adjoining properties when driveway and service access is off a street with Type 'A' Frontage.
4. Service and loading/unloading areas shall be screened per standards in Section 9.0 of this Code.
5. Unless required to meet minimum fire access or service access standards all commercial and mixed use driveways shall be a maximum of 24' in width. Service driveways shall be a maximum of 30' in width. Driveways wider than 24' in width shall only be located along a street with Type 'B' Frontage. Driveways along State controlled roadways shall meet TxDOT Standards.
6. Residential Driveways:
 - a. Unless required to meet minimum fire access or service access standards, driveways for attached Residential Use Buildings (townhomes) shall be a maximum of 12' in width.
 - b. Townhomes and courtyard apartments shall utilize garages with access from streets with Type 'B' Frontage or from Alleys.

(d) **Street Screen Required:**

- i. Any lot frontage along all public street frontages (except alleys) with surface parking shall be defined by a Street Screen. This required Street Screen shall be located at the street edge of the BTZ. Refer to the Section 9.0, Landscape Standards of this code for more specifications.
- ii. Any frontage along TX 183/ 121 with surface parking shall also be screened by a 4' high (min.) vegetative Street Screen and Landscape Buffer (15' min. width required). The Street Screen may be planted within the required Landscape Buffer. Refer to the Section 9.0, Landscape Standards of this code for more specifications.

(e) **Commercial Ready Standards:** Shall meet the standards in Section 7.0 of this code

(f) **Fire Separation Requirement:** Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.

(g) **Recessed Entry Setbacks:** Building façade lines on recessed entries and arcade buildings shall be measured from the front of façade with the recessed entry or arcade (see Section 4.0 Definitions of this Code for illustration).

(h) **Measuring heights:**

- i. Chimneys, church steeples, vents, elevator and stair enclosures, screened HVAC equipment, other mechanical enclosures, tanks, solar energy systems and similar elements are exempt from the height limit.

- ii. Internal building height shall be measured from finished floor to the bottom of the structural members of the ceiling.
 - iii. Floor to floor heights shall not apply to parking structures or civic buildings.
- (i) **Encroachments:**
- i. Allowed encroachments over the R-O-W (except TX 183/121 Frontage Road):
 - 1. Maximum of 50% of the depth of the sidewalk or 10' (whichever is less) (except blade signs which may encroach no more than 6' from the building façade line).
 - 2. Minimum vertical clearance from the finished sidewalk shall be 8'
 - 3. In no case shall an encroachment be located over an on-street parking or travel lane.
 - ii. Encroachments over Required Setbacks: Canopies, awnings, galleries, and balconies may encroach over any required setback areas per standards established in each character zone as long as the vertical clearance is a minimum of 8' from the finished sidewalk elevation.
- (j) **Phased Developments:** Due to the infill nature of development within Bedford Commons, certain building form and site development standards may be deferred for phased development projects meeting the following criteria:
- i. Submission of a site plan that illustrates how development and any related private improvements will be phased over time. Each phase of the site plan shall independently comply with all applicable standards of the CBD-DC unless a Minor Modification is granted.
 - ii. Required private landscaping and open space amenities may also be phased with the building.
- (k) **Required Public Improvements:** All site plans that require public improvements such as sidewalk and streetscape improvements may be deferred through the payment of a proportional fee-in-lieu based on the linear feet of street frontage along the subject property. Fee in lieu payment shall be made for streetscape, sidewalk, street lighting and street furniture improvements on a pro-rata lot frontage basis for building expansions based on the percentage of expansion of the existing building area. For example a 30% increase in conditioned square footage of the building shall pay the cost of streetscape and sidewalk for 30% of the street frontage of the subject lot.

6.2 Highway Mixed Use (HMU)

(a) Illustrations and Intent

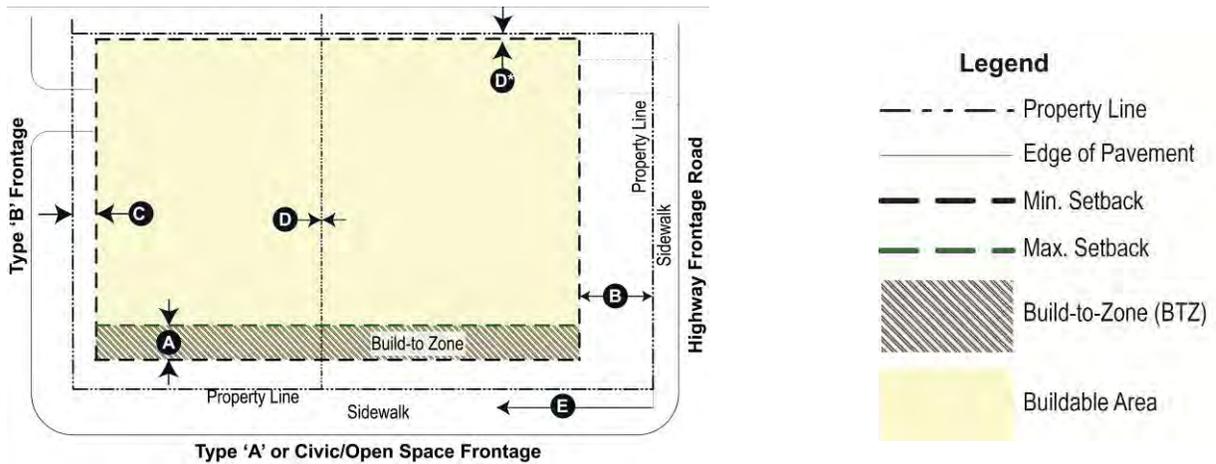
The Highway Mixed Use (HMU) Zone provides appropriate transitions between the heart of Bedford Commons and the highway frontage along TX 183/121. These frontages are inherently auto-oriented and the focus of the development standards is to create a more aesthetically pleasing development context with appropriate gateway opportunities at key locations. This would also be the Zone in which retail and restaurant uses are primarily auto-oriented to take advantage of the highway access and visibility.

In addition to improving the building design, development standards within this zone focus on softening the highway frontage by requiring landscape and buffers along these frontages.



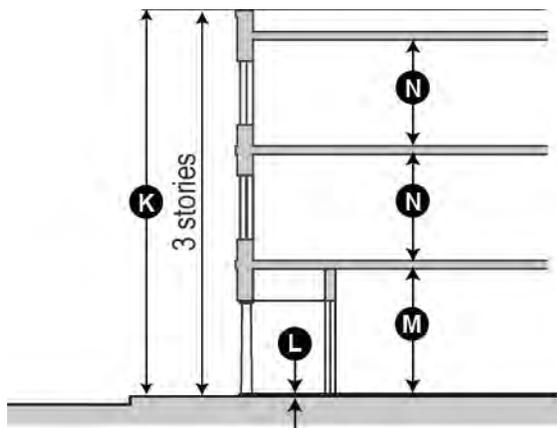
Images illustrating the character of development desired within the Highway Mixed Use Character Zone

(b) Building Placement



(i) Build-to Zones (BTZs) and Setbacks (Distance from property line to edge of the zone)		
Type 'A' or Civic/Open Space Frontage (BTZ)	5' min. setback – 25' max. setback	A
TX 183/121 Frontage Road	20' min. setback; no max. setback	B
Type 'B' Frontage	5' min. setback; no max. setback	C
Side	5' min. setback; no max. setback	D
Rear	5' min.; no max. setback	D*
(ii) Minimum Building Frontage Required		
Type 'A' or Civic/Open Space Frontage	60% min.	E
TX 183/121 Frontage Road	None Required (unless at a street intersection, then see 6.1)	
Type 'B' Frontage	None Required (unless at a street intersection, then see 6.1)	

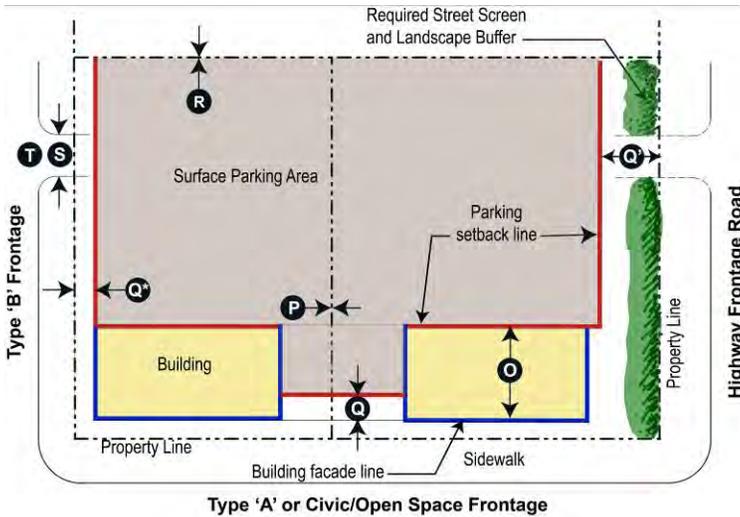
(c) Building Height



(i) Principal Building Standards		
Building maximum	3 stories or 40' max.	K
First floor to floor height (finished floor to finished floor)	12' min. for all buildings with Type 'A' Frontage designation	M
	10' min. for all other frontages	
Ground floor finish level	12" max. above sidewalk for all buildings with Type 'A' Frontage designation	L
Upper floor(s) height	NA	N
(ii) Accessory Building Standards		
Accessory buildings shall meet the standards for Principal Building standards in the Highway Mixed Use Zone.		

(d) Parking & Service Access

(i) Surface Parking Setbacks



Type 'A' or Civic/Open Space Frontage	<ul style="list-style-type: none"> Shall be located behind the principal building along that street frontage; or Min. 3' behind the building façade line along that street; If no building is located along the street frontage; then surface parking shall be setback a minimum of 6' from the property line. 	O
TX 183/121 Frontage	<ul style="list-style-type: none"> Min. 15' from the property line 	Q'
Type 'B' Frontage	<ul style="list-style-type: none"> Min. 3' behind the property line 	Q ⁺
Side	<ul style="list-style-type: none"> 0' 	P
Rear	<ul style="list-style-type: none"> 0' 	R

(ii) Driveways and Service Access

i. Parking driveway width	Section 6.1 shall apply	S
ii. Driveways and off-street loading and unloading	Section 6.1 shall apply	T

(e) Special Requirements

- (i) Ground floors of all buildings within the Highway Mixed Use zone with a Type 'A' Frontage shall not be occupied by parking uses, residential units, and/or lodging rooms in hotels to a minimum depth of 24 feet as measured from the front building line.
- (ii) Ground floors of all buildings within the Highway Mixed Use zone with TX 183/121 and/or Central Drive frontage shall not be occupied by residential units and/or lodging rooms in hotels to a minimum depth of 24 feet as measured from the front building line.
- (iii) Highway fronting facades of all buildings shall be treated as the front of buildings with doors and windows. No service or drive through areas shall have frontage along the highway.

6.3 Regional Retail and Employment

(a) Illustrations and Intent

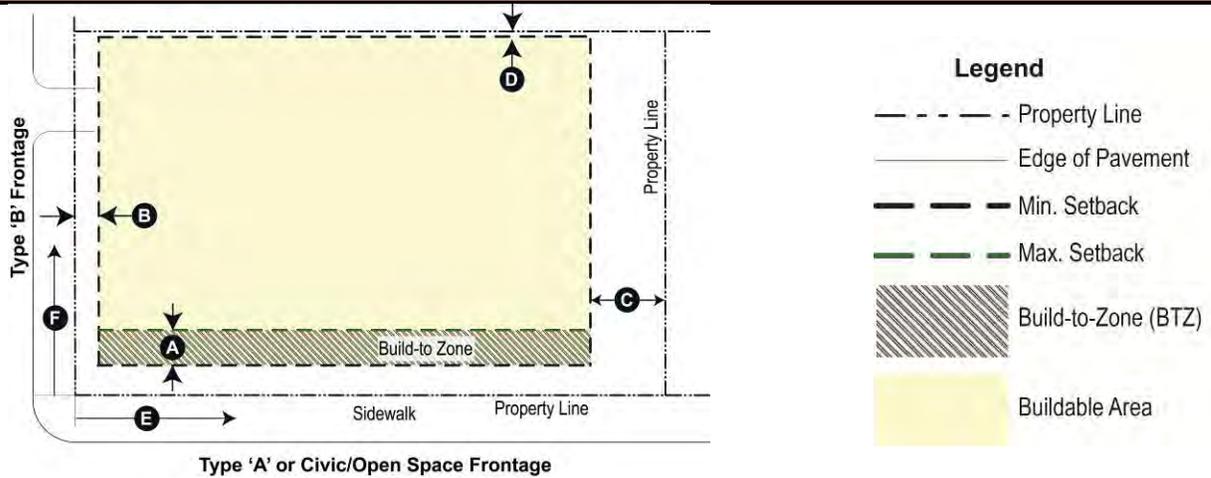
The Regional Retail and Employment Zone is intended to build on the existing larger office buildings within this Zone that do not necessarily require the highway visibility and frontage while providing a transition between the Civic Mixed Use zone and the Highway Mixed Use Zone. In addition, this zone can add significant day-time population needed to support the existing and future retail and restaurants. The goal is to recreate a major employment center with regional access from TX 183/121.

Development standards for the Regional Retail and Employment Character Zone emphasize the redevelopment of vacant office building sites and longer-term transition of the surface parked office developments into a true campus with improved internal connectivity, walkability, landscaped amenities, and shared parking. This Zone allows some of the highest intensity permitted within the Central Bedford Zone in order to provide visibility from the highway.



Images illustrating the character of development desired within the Regional Retail and Employment Character Zone

(b) Building Placement



Type 'A' or Civic/Open Space Frontage

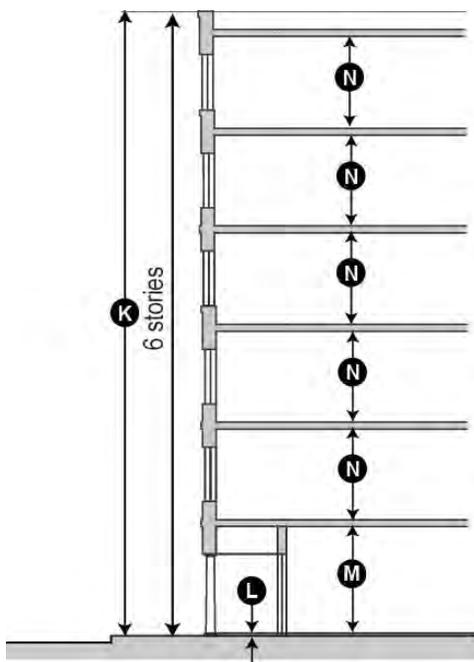
(i) Build-to Zones (BTZs) and Setbacks (Distance from property line to edge of the zone)

Type 'A' or Civic/Open Space Frontage (BTZ)	5' min. setback – 20' max. setback	A
Type 'B' Frontage (BTZ)	5' min. setback; no max. setback	B
Side	0' min.; no max. setback	C
Rear	0' min.; no max. setback	D

(ii) Building Frontage

Type 'A' or Civic/Open Space Frontage	60% min.	E
Type 'B' Frontage	None (unless at a street intersection, then see 6.1)	F

(c) Building Height



(i) Principal Building Standards

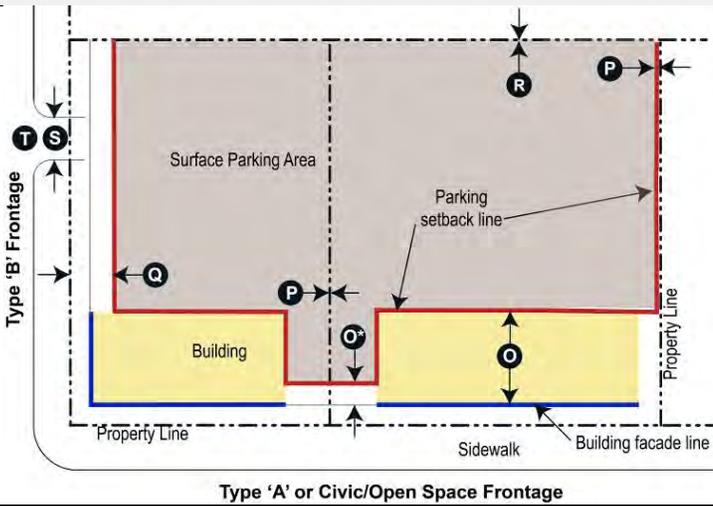
Building maximum	▪ 6 stories or 75' max.	K
First floor to floor height (finished floor to finished floor)	▪ 12' min. for all buildings with Type 'A' Frontage designation ▪ 10' min. for all other frontages	M
Ground floor finish level	▪ 12" max. above sidewalk for all buildings with Type 'A' Frontage designation	L
Upper floor(s) height	▪ NA	N

(ii) Accessory Building Standards

Accessory buildings shall meet the standards for Principal Building standards in the Regional Retail and Employment Zone.

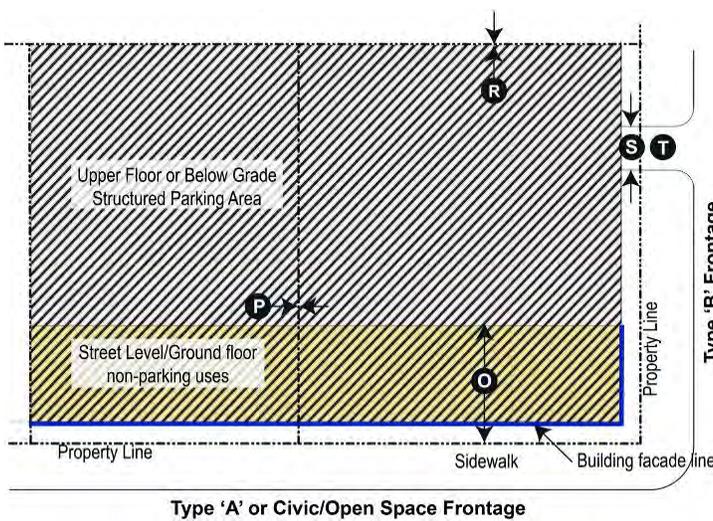
(d) Parking & Service Access

(i) Surface Parking Setbacks



Type 'A' or Civic/Open Space Frontage	<ul style="list-style-type: none"> Shall be located behind the principal building along that street frontage; or Min. 3' behind the building façade line along that street 	O O*
Type 'B' Frontage	<ul style="list-style-type: none"> Shall be located behind the principal building along that street frontage; or Min. 3' behind the building façade line along that street; or If no building is located along the street frontage; then surface parking shall be setback a minimum of 3' from the property line. 	O Q
Side	0'	P
Rear	0'	R

(ii) Structured Parking or Below Grade Parking Setbacks



Type 'A' or Civic/Open Space Frontage	<ul style="list-style-type: none"> Shall be located behind the principal building along that street frontage; or Ground floor setback: min. of 24' from the property line Upper floors: may be built up to the building façade line 	O
Type 'B' Frontage	<ul style="list-style-type: none"> May be built up to the building façade line; or If no building is located along the street frontage; then the structured parking shall meet the minimum setback standards along that Frontage. 	
Side	0'	P
Rear	0'	R

(iii) Partially Below Grade Parking

Ground floors may be built up to the building façade line along all Type 'B' Frontages.

(iv) Driveways and Service Access

1. Parking driveway width	Section 6.1 shall apply	S
2. Driveways and off-street loading and unloading standards	Section 6.1 shall apply	T

(e) Special Requirements

- (i) Ground floors of all buildings within the Regional Retail and Employment Zone with a Type 'A' Frontage shall not be occupied by parking uses, residential units, and/or lodging rooms in hotels to a minimum depth of 24 feet as measured from the front building line.
- (ii) Ground floors of all buildings within the Regional Retail and Employment Zone with Central Drive frontage shall not be occupied by residential units and/or lodging rooms in hotels to a minimum depth of 24 feet as measured from the front building line.

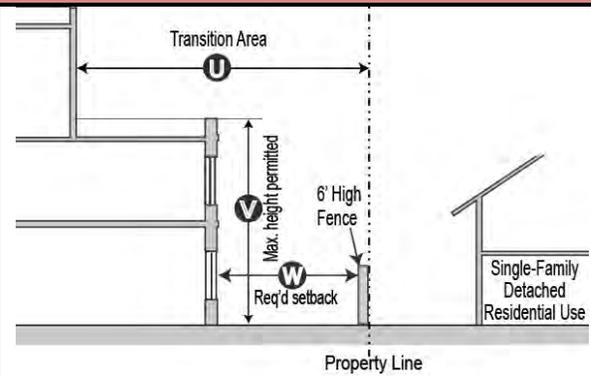
(f) Block Standards

- (i) The maximum block perimeter shall be 2,000 feet unless the development meets the proposed Street Network (Required and Recommended) per the Regulating Plan

(g) Residential Transition Standards

The following transition standards shall apply to all new building construction and all upper story additions to existing buildings located adjacent to existing single-family detached residentially zoned lots located outside Bedford Commons. This requirement shall apply even if street or other similar R-O-W separates the subject lot and the existing single-family detached residential lot.

i.	Transition Area	20' min.	U
ii.	Max. Building Height at within Transition Area	2 stories or 25'	V
iii.	Required setback	Min. 10'	W



6.4 Core Mixed Use (Core MU)

(a) Illustrations and Intent

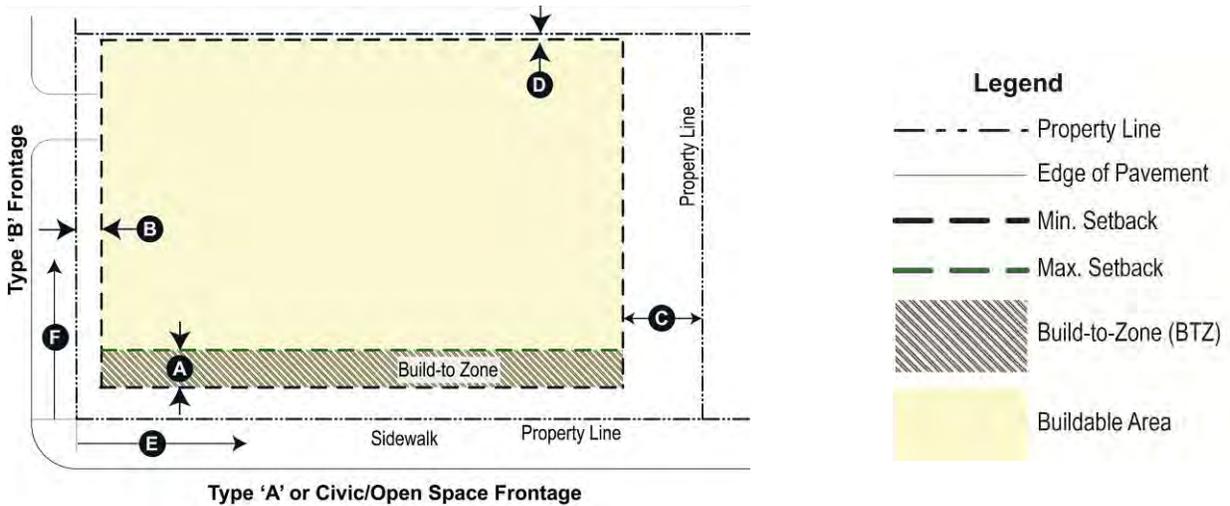
The Core Mixed Use (CMU) Zone is intended to encourage the transformation of Parkwood Drive into a true “Main Street” with vibrant street life, a mix of uses, on-street parking, wide sidewalks, and attractive streetscape all anchored by the Central Square to the north at the intersection of L. Don Dodson and Parkwood Dr. and a major district gateway at Parkwood and TX 183/121.

The development standards are intended to create a more defined “street wall” along Parkwood Dr. with new buildings built at or close to the sidewalk. Existing buildings that are set back or surface parking lots along this frontage are to be transitioned into outdoor seating patios or forecourts or infilled by new buildings as the market demand for new destination retail and restaurant uses increases due to the city’s investment in improving Parkwood Drive per this vision.



Images illustrating the character of development desired within the Core Mixed Use Character Zone

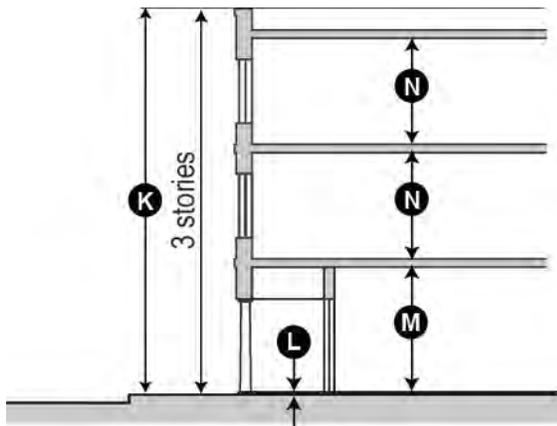
(b) Building Placement



(i) Build-to Zones (BTZs) and Setbacks (Distance from property line to edge of the zone)		
Type 'A' or Civic/Open Space Frontage (BTZ)	5' min. setback – 10' max. setback	A
Type 'B' Frontage (BTZ)	5' min. setback; no max. setback	B
Side	0' min. setback; no max. setback	C
Rear	0' min. setback; no max. setback	D

(ii) Building Frontage		
Type 'A' or Civic/Open Space Frontage	80% min.	E
Type 'B' Frontage	None Required (unless at a street intersection, then see 6.1)	F

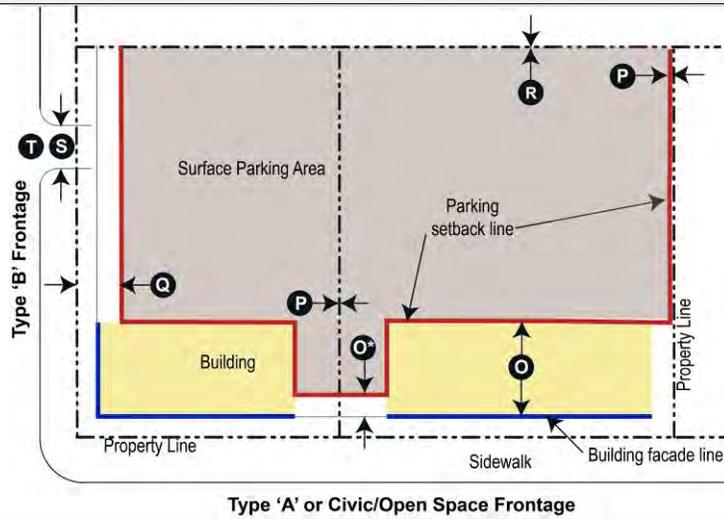
(c) Building Height



(i) Principal Building Standards		
Building maximum	3 stories or 45' max.	K
First floor to floor height (finished floor to finished floor)	12' min. for Type 'A' Frontages 10' min. for all other frontages	M
Ground floor finish level	12" max. above sidewalk for all buildings with Type 'A' Frontage designation	L
Upper floor(s) height	NA	N
(ii) Accessory Building Standards		
Accessory buildings shall meet the standards for Principal Building standards in the Core Mixed Use Zone.		

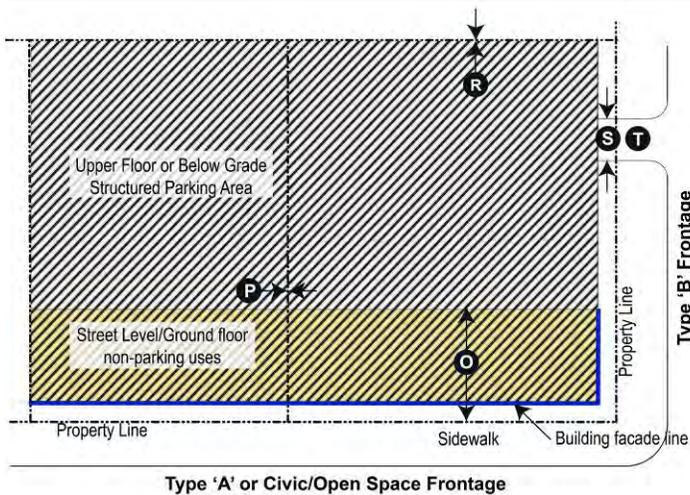
(d) Parking & Service Access

(i) Surface Parking Setbacks



Type 'A' or Civic/Open Space Frontage	<ul style="list-style-type: none"> Shall be located behind the principal building along that street frontage; or Min. 3' behind the building façade line along that street 	O*
Type 'B' Frontage	<ul style="list-style-type: none"> Min. 3' behind the building façade line along that street or Min. 3' behind the property line along that street (if no buildings along the street frontage) 	Q
Side	0' min.	P
Rear	0' min.	R

(ii) Structured Parking or Below Grade Parking Setbacks



Type 'A' or Civic/Open Space Frontage	<ul style="list-style-type: none"> Ground floor - Shall be min. of 24' from the property line Upper Floors – may be built to the façade line along that street 	O
Type 'B' Frontage	<ul style="list-style-type: none"> May be built up to the building façade line along a that street; or If no building is located along the street frontage; then the structured parking shall meet the setback standards along that specific frontage. 	
Side	0' min.	P
Rear	0' min.	R

(iii) Partially Below Grade Parking

Ground floors may be built up to the building façade line along all Type 'B' Frontages.

(iv) Driveways and Service Access

1. Parking driveway width	Section 6.1 shall apply	S
2. Driveways and off-street loading and unloading	Section 6.1 shall apply	T

(e) Special Requirements

(i) Ground floors of all buildings within the Core Mixed Use Zone with a Type 'A' Frontage shall not be occupied by parking uses, residential units, and/or lodging rooms in hotels to a minimum depth of 24 feet as measured from the front building line.

(f) Block Standards

(i) The maximum block perimeter shall be 1,600 feet unless the development meets the proposed Street Network (Required and recommended) per the Regulating Plan.

6.5 Civic Mixed Use (Civic MU)

(a) Illustrations and Intent

This zone is intended to create a new vibrant residential neighborhood anchored by major civic buildings and civic spaces. The main civic space is to be the “Commons” at the intersection of L. Don Dodson and Parkwood Dr.

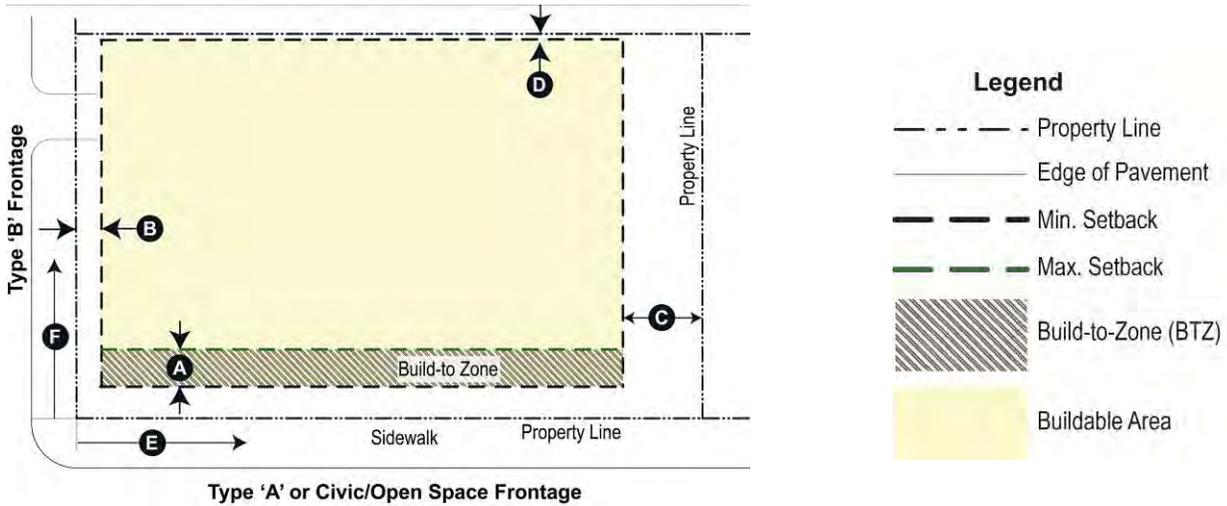
The design of multi-family residential buildings should be “urban” with buildings built to the street, streetscape improvements, internalized parking, and integration of public and private open space and amenities. Ground floors along L. Don Dodson and Forest Ridge Drive should be built to Commercial Ready standards to accommodate future transitions to active ground floor uses.

Development standards within this Zone are carefully calibrated to address transitions to existing residential development.



Images illustrating the character of development desired within the Civic Mixed Use Character Zone

(b) Building Placement



Type 'A' or Civic/Open Space Frontage

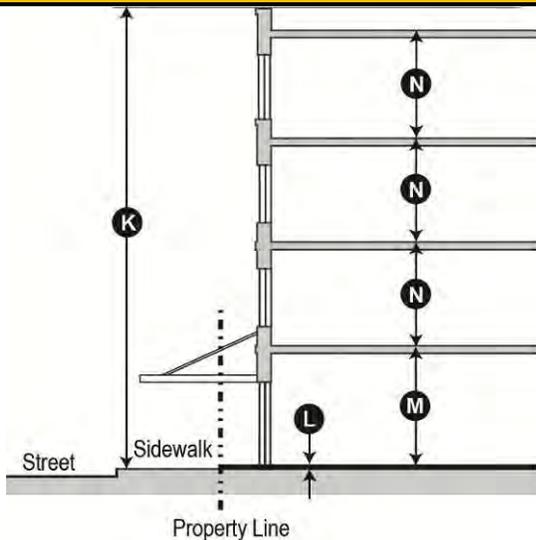
(i) Build-to Zones (BTZs) and Setbacks (Distance from property line to edge of the zone)

Type 'A' or Civic/Open Space Frontage (BTZ)	5' min. setback – 15' max. setback	A
Type 'B' Frontage	5' min. setback; no max. setback	B
Side	0' min. setback; no max. setback	C
Rear	0' min. setback; no max. setback	D

(ii) Building Frontage

Type 'A' or Civic/Open Space Frontage	80% min.	E
Type 'B' Frontage	None Required (unless at a street intersection, then see 6.1)	F

(c) Building Height



(i) Principal Building Standards

Building maximum	4 stories or 50' max.	K
First floor to floor height (finished floor to finished floor)	12' min. for all buildings with Type 'A' Frontage designation 10' min. for all other frontages	M
Ground floor finish level	12" max. above sidewalk for all buildings with Type 'A' Frontage designation	L
Upper floor(s) height	NA	N

(ii) Accessory Building Standards

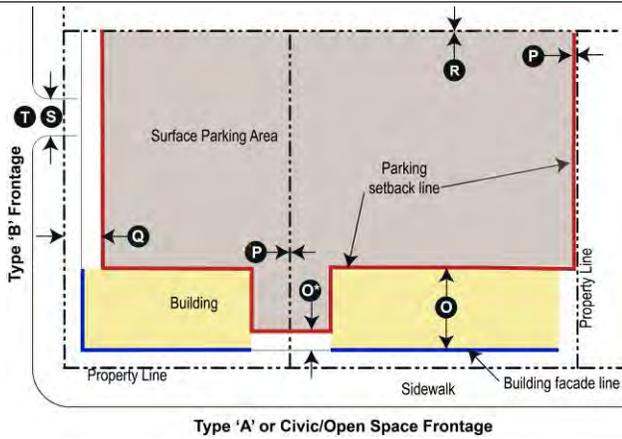
Accessory buildings shall meet the standards for Principal Building standards in the Civic Mixed Use Zone.

(d) Block Standards

- (i) The maximum block perimeter shall be 1,600 feet unless the development meets the proposed Street Network (Required and recommended) per the Regulating Plan.

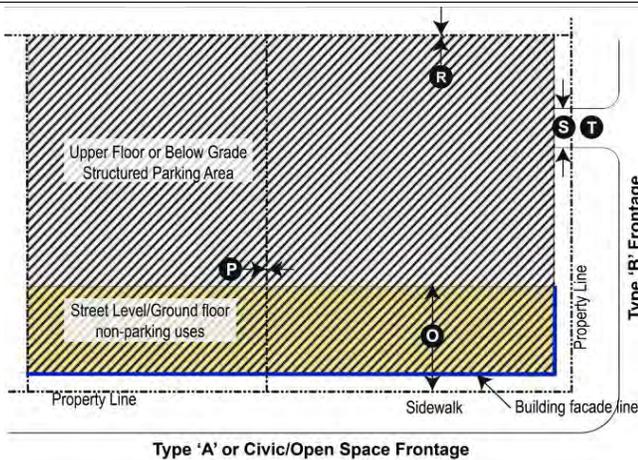
(e) Parking & Service Access

(i) Surface Parking Setbacks



Type 'A' or Civic/Open Space Frontage	<ul style="list-style-type: none"> Shall be located behind the principal building along that street frontage; or Min. 3' behind the building façade line along that street 	O O*
Type 'B' Frontage	<ul style="list-style-type: none"> Min. 3' behind the building façade line along that street or Min. 3' behind the property line along that street (if no buildings along the street frontage) 	Q
Side	0' min.	P
Rear	0' min.	R

(ii) Structured Parking or Below Grade Parking Setbacks



Type 'A' or Civic/Open Space Frontage	<ul style="list-style-type: none"> Ground floor - Shall be min. of 24' from the property line Upper Floors – may be built to the façade line along that street 	O
Type 'B' Frontage	<ul style="list-style-type: none"> May be built up to the building façade line along a that street; or If no building is located along the street frontage; then the structured parking shall meet the setback standards along that specific frontage. 	
Side	0' min.	P
Rear	0' min.	R

(iii) Partially Below Grade Parking

Ground floors may be built up to the building façade line along all Type 'B' Frontages.

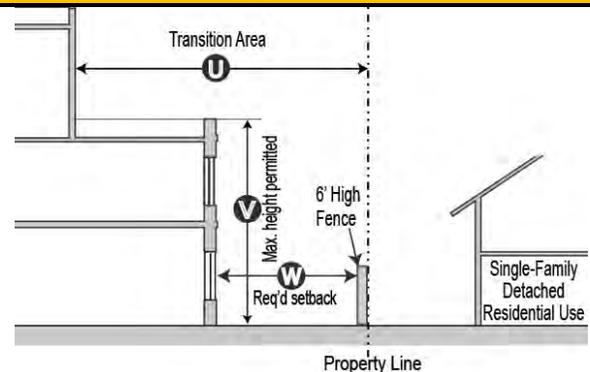
(iv) Driveways and Service Access

1. Parking driveway width	Section 6.1 shall apply	S
2. Driveways and off-street loading and unloading	Section 6.1 shall apply	T

(f) Residential Transition Standards

The following transition standards shall apply to all new building construction and all upper story additions to existing buildings located adjacent to existing single-family detached residentially zoned lots located outside Bedford Commons. This requirement shall apply even if street or other similar R-O-W separates the subject lot and the existing single-family detached residential lot.

i. Transition Area	20' min.	U
ii. Max. Building Height at within Transition Area	2 stories or 25'	V
iii. Required setback	Min. 10'	W



(g) Special Requirements

(i) Ground floors of all buildings within the Civic Mixed Use Zone with a Type 'A' Frontage shall not be occupied by parking uses to a depth of 24 feet as measured from the front building line.

7.0 Building Design Standards

7.1 Purpose and Intent

The Building Design Standards for Bedford Commons shall establish a coherent urban character and encourage enduring and attractive development. Site plans, together with building plans and elevations, shall be reviewed by the Director or designee for compliance with the standards below and forwarded to the Planning and Zoning Commission and City Council for approval.

The key design principles establish essential goals for the redevelopment within Bedford Commons to be consistent with the vision for a vibrant urban neighborhood with a range of commercial, civic, educational and residential uses serving the adjacent neighborhoods and the City at large. Buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- (a) New and redeveloped buildings and sites shall utilize building and site elements and details to achieve a pedestrian-oriented public realm with glazing, shading, and shelter;
- (b) Design compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity;
- (c) Create a unique and eclectic mix of architectural design for Bedford Commons that sets it apart from other communities in the Metroplex;
- (d) Building facades shall include appropriate architectural details and ornament to create variety and interest at the sidewalk level;
- (e) Open space(s) shall be incorporated to provide usable public areas integral to the urban environment; and
- (f) Increase the quality, adaptability, and sustainability of building stock in Bedford Commons.

7.2 Building Orientation and Entrances

- (a) Buildings shall be oriented towards Type 'A' Frontages, where the lot has a Type 'A' Frontage. If a building has no Type 'A' Frontage, then it shall be oriented towards a Type 'B' Frontage. For the purposes of building orientation, all frontages along Civic and Open spaces shall be considered as Type 'A' Frontages.
- (b) Primary entrances to buildings shall be located on the street along which the building is oriented (See Figure 7-1). At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection. Building entrances shall be provided for all separate ground floor commercial use tenant spaces that are located along Type 'A' Frontages.
- (c) All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from parking areas or alleys.
- (d) Primary Entrance Design: Primary building entrances along Type 'A' Frontages shall consist of at least two of following design elements so that the main entrance is architecturally prominent and clearly visible from that street (see figures 7-2 below):
 - i. Architectural details such as arches, friezes, awnings, canopies, arcades, tile work, murals, or moldings, or
 - ii. Integral planters or wing walls that incorporate landscape or seating elements, or
 - iii. Prominent three-dimensional, vertical features such as belfries, chimneys, clock towers, domes, spires, steeples, towers, or turrets, or

- iv. A repeating pattern of pilasters projecting from the façade wall by a minimum of eight inches or architectural or decorative columns.

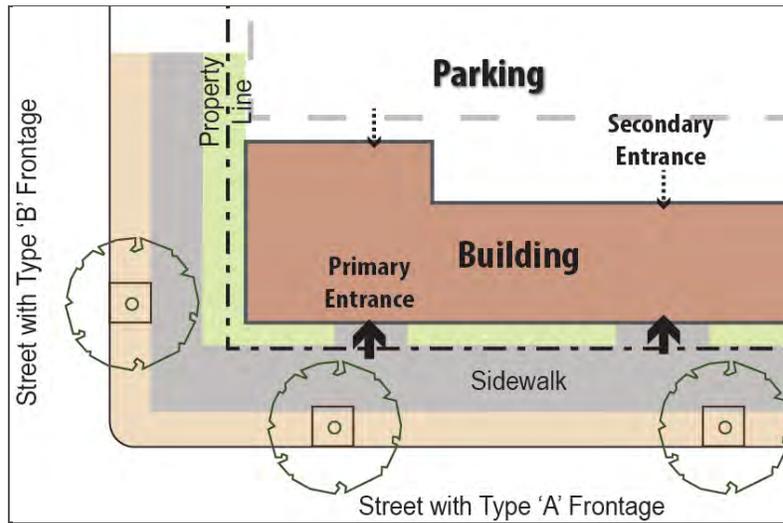


Figure 7-1: Illustration showing required building orientation and location of primary entrances



Figures 7-2: Examples of Primary Entrance Designs

7.3 Façade Composition

- (a) Commercial Use and Mixed Use Buildings:

- (i) Facades greater than 60' in length along all Type 'A' Frontages and Civic/Open Spaces shall meet the following façade articulation standards:
 1. Include facade modulation such that a portion of the facade steps back or extends forward with a depth of at least 24 inches (see figure below).
 2. The distance from the inside edge of a building projection to the nearest inside edge of an adjacent projection shall not be less than 20 feet and not greater than 60 feet (see figure 7-3 and 7-4 below).
- (ii) All other facades shall be articulated by at least one discernable architectural element every 20 feet. Such architectural elements include, but are not limited to (See figures below):
 1. Changes in material, color, and/or texture either horizontally or vertically at intervals not less than 20 feet and not more than 60 feet; or
 2. The construction of building entrances, bay windows, display windows, storefronts, arcades, façade relief, panels, balconies, cornices, bases, pilasters, or columns.

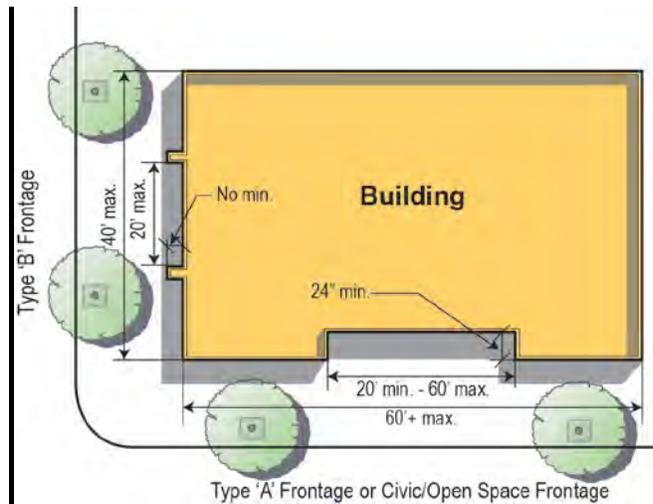


Figure 7-3: Illustration showing building articulation requirement



Figures 7-4: Images showing examples of appropriate building articulation

- (iii) Façade Transparency Required (Figures 7-5):

1. All ground floor front facades of buildings along Type 'A' Frontages and designated Active Edge frontages, or Civic/Open Space frontages shall have windows with a Visible Transmittance (VT) of 0.6.
2. All facades shall meet the minimum requirement for façade transparency (percentage of doors and windows) as established in Table 7-1 below. Ground floor windows and doors along Type 'A' facades shall have a Visible Transmittance (VT) of 0.6 or higher.

Table 7-1 Required Minimum Façade Transparency by Façade Frontage Type

Façade Frontage Type →	Type 'A' Frontage	Type 'B' Frontage	TX 183/121 and Central Dr. Frontage	All other facades
Commercial Use or Mixed Use Buildings				
Ground Floor	40% (min.)	None	25% (min.)*	None
Upper Floor(s)	25% (min)	None	25% (min.)*	None
Residential Use Buildings				
Ground Floor	25% (min.)	None	NA	None
Upper Floor(s)	20% (min.)	None	20% (min.)	None

**Along TX 183/121 Frontages, building articulation of minimum of 25% of the façade area may be substituted for façade transparency for Commercial Use and Mixed Use Building facades only.*

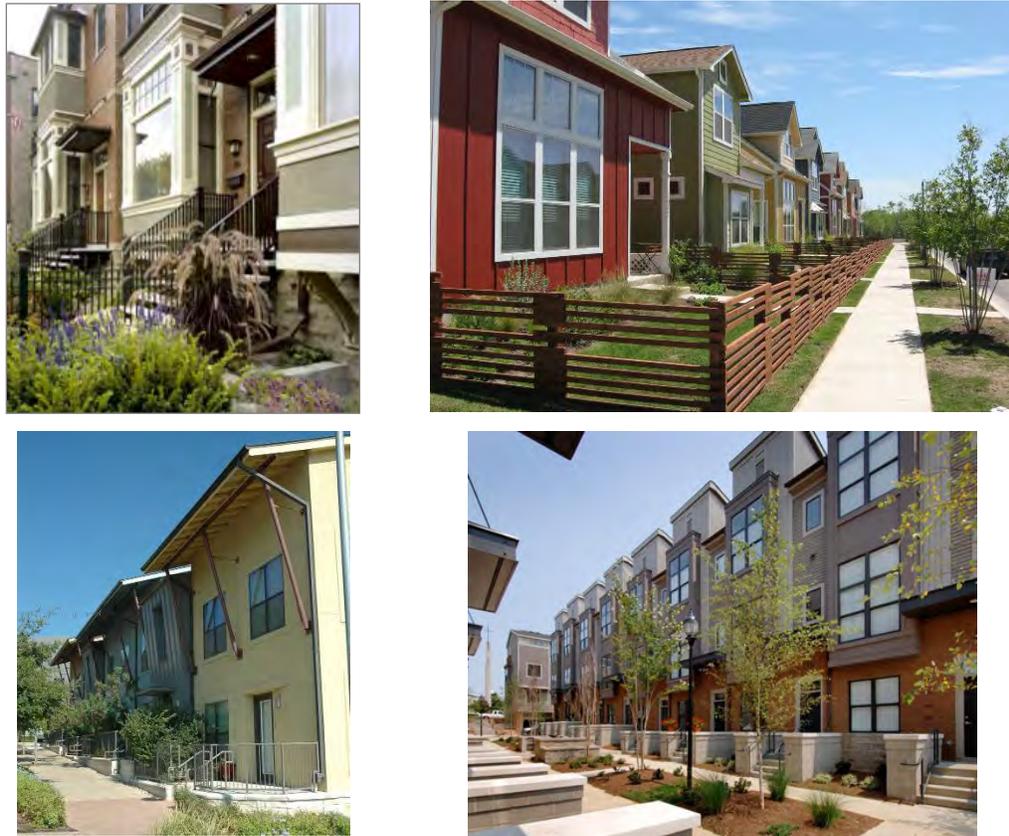


Figures 7-5: Images showing appropriate transparency required along Type 'A' Frontages

(b) Residential Use Buildings

- (i) At least one of the following shall be added along residential building facades to add pedestrian interest along the street (see Figures 7-6 below):
 - porches,
 - stoops,
 - eaves, or
 - balconies
- (ii) If a residential use building is setback less than 10' from the front property line along Type 'A' Frontages, the grade of the slab or first floor elevation shall be elevated at least 18 inches above the grade of the sidewalk. If the front of the residential structure is setback 10' or more from the front property line along Type 'A' Frontages and is not elevated at least 18 inches above the grade of the sidewalk, a low fence (no higher than 3 feet) shall be provided at the front property line. Vinyl, chain link and wood stockade fences are prohibited in the front yard.

(iii) Windows and Doors: All building facades of residential use buildings shall meet the transparency requirements established in Table 7-1.



Figures 7-6: Residential buildings with porches, fencing, balconies, and stoops to add interest along the street.

7.4 Commercial Ready Standards

(a) Ground floors of all buildings with Type ‘A’ Frontage designation per the Regulating Plan (Attachment A-1) shall be built to Commercial Ready standards. Such ground floor space shall be constructed to accommodate, at a minimum, Business Occupancy and/or Mercantile Occupancy groups as defined by the currently adopted Commercial Building Code. If residential use is provided immediately above the ground floor level (i.e., second floor residential), horizontal occupancy separation shall be provided to accommodate future Business or Mercantile Occupancies as required by the currently adopted Commercial Building Code at the time of construction. In addition, the following standards shall apply (See figure 7-7 below):

- i. An entrance that opens directly onto the sidewalk according to Section 7.0;
- ii. A height of not less than 12 feet measured from the entry level finished floor to the bottom of the structural members of the ceiling;
- iii. Minimum leasable width of 20 feet and depth of 24 feet;
- iv. A front facade that meets the window glazing requirements in Section 7.0; and
- v. Off-street surface parking shall be prohibited between the sidewalk and the building along Type ‘A’ Frontages.

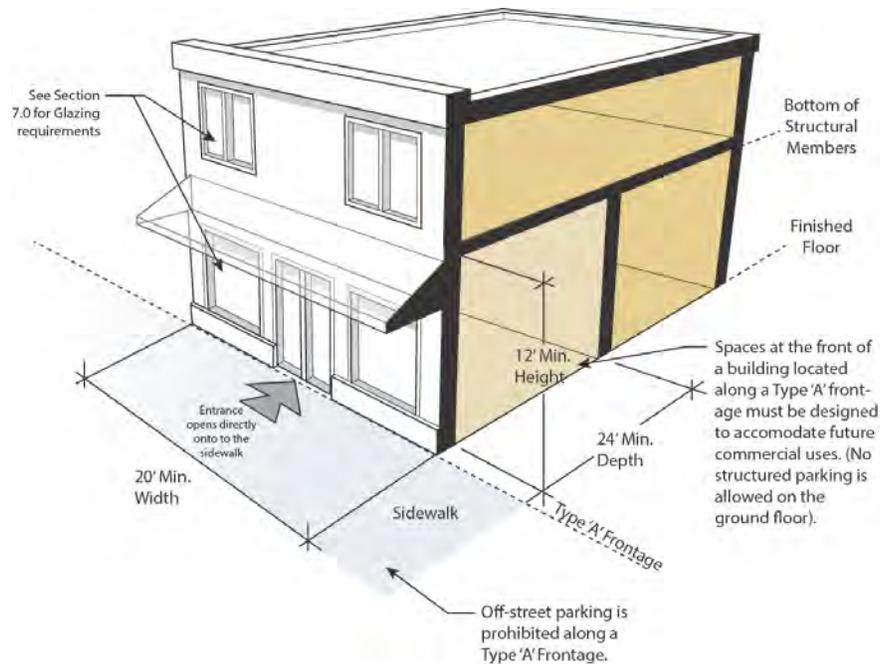


Figure 7-7: Illustration showing application of Commercial Ready Frontage Requirements

7.5 Shading Requirement: Shading of public sidewalks, especially, sidewalks located along Type 'A' Frontages shall be important to implementing the vision for walkable mixed use within Bedford Commons. Shading may be achieved through any combination of canopies, awnings, street trees, and other similar devices. To this end, the following standards shall apply (see figures 7-8 below):

- (a) Shaded sidewalk shall be provided alongside at least one of the following:
 - (i) 50 percent of all building facades with Type 'A' Frontage designation per the Regulating Plan (Attachment A-1).
 - (ii) 50 percent of all building facades with frontage along an off-street surface parking lot
- (b) When adjacent to a surface parking lot, the shaded sidewalk shall be raised above the level of the parking lot by way of a defined edge, such as a curb. ADA ramps along the building must also be shaded.
- (c) A shaded sidewalk must meet the following requirements:
 - (i) Along a street, a shaded sidewalk shall comply with the applicable sidewalk standards for its designated street type. If not otherwise required, the shaded sidewalk shall provide trees planted no more than 40 feet on center.
 - (ii) Along any surface parking adjacent to the building (both off-street or on street), the shaded sidewalk shall consist of a minimum 5 foot clear zone and 5 foot planting zone, planted with trees no more than 40 feet on center, or a 5 foot clear zone with a minimum 5 foot wide over-head weather protection.
 - (iii) Building entrances along Type 'A' frontages shall be located under a shade device, such as an awning or portico.



Figures 7-8: Images showing examples of shading along sidewalks

7.6 Building Materials

(a) Exterior Building Façade Materials (for all buildings)

1. Primary building façade materials (90% of the façade area) along Type ‘A’ frontages shall be limited to masonry (brick, decorative block, split face stone construction, natural stone, and stucco using the 3-step process). Cementitious Fiber clapboard (hardi plank) (not sheets) shall be permitted as a primary façade material on the upper floor facades only (min. 10’ above the sidewalk) within the Highway Commercial, Regional Retail and Employment, and Core Mixed Use Zones. Cementitious Fiber clapboard (hardi plank) (not sheets) shall be permitted as a primary façade material without limitation in the Civic Mixed Use Zone.
2. Other primary building façade materials may be considered on a case by case basis through the site plan process and evaluated based on integration with the overall architectural style of the building, visual compatibility with adjoining development, and overall creativity and innovation in building and architectural design.
3. Use of Exterior Insulation Finish System (EIFS) shall be limited to moldings and architectural detailing on all building facades.

7.7 Design of Automobile Related Building and Site Elements

- (a) Where permitted under Section 5.0 of this Code, drive-through lanes, auto service bays, and gas station canopies for commercial uses shall not be located with frontage along any Type ‘A’ Frontage. In addition, drive-through lanes shall not be permitted with frontage along TX 183/121. Drive-through lanes, auto service bays, and gas station canopies shall be hidden behind a 3’ high Street Screen along all other Type ‘B’ Frontages (see Figure 7-9 below). The Street Screen shall be made up of (i) a living screen or (iii) a combination living and primary building material screen (See Section 9.0 for details).
- (b) No more than 70% of a lot’s frontage along a Type ‘B’ frontage may be dedicated to drive through lanes, canopies, service bays, and other auto-related site elements. There shall be no such limitation along alleys and internal block frontages.

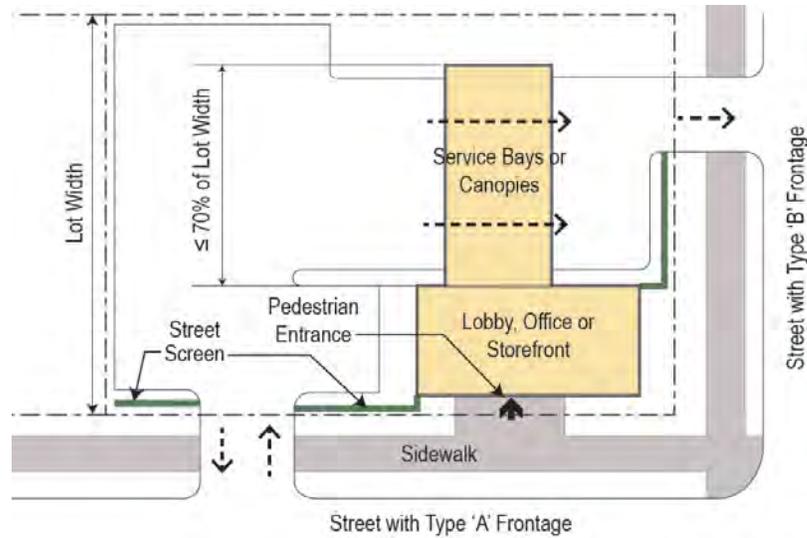


Figure 7-9: Image illustrating the appropriate design of auto-related site elements (Gas stations, auto-service uses, and bank drive-throughs)

- (c) Any automobile related retail sales or service use of a site or property with Type 'A' Frontage designation shall have a primary building entrance along that frontage. A primary building entrance may be along a building's Type 'B' Frontage only if the site has no Type 'A' frontage designation.
- (d) Drive through access (driveways only) may be from a Type 'A' Frontage only if the lot has no access to any Type 'B', alley or Highway access road. In cases where drive through access is provided from a Type 'A' Frontage, a shared/joint access easement shall be required to adjoining properties providing alternative (future) access to a Type 'B' or alley frontage (see Figures 7-10 and 7-11 for corner and interior lot illustrations below).

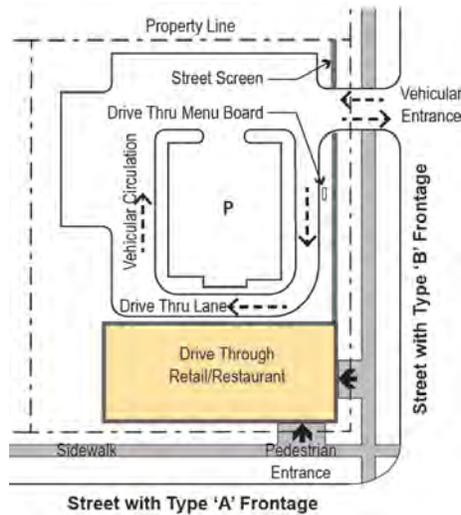


Figure 7-10: Image illustrating the appropriate design of retail/restaurant drive-throughs (Corner Lot)

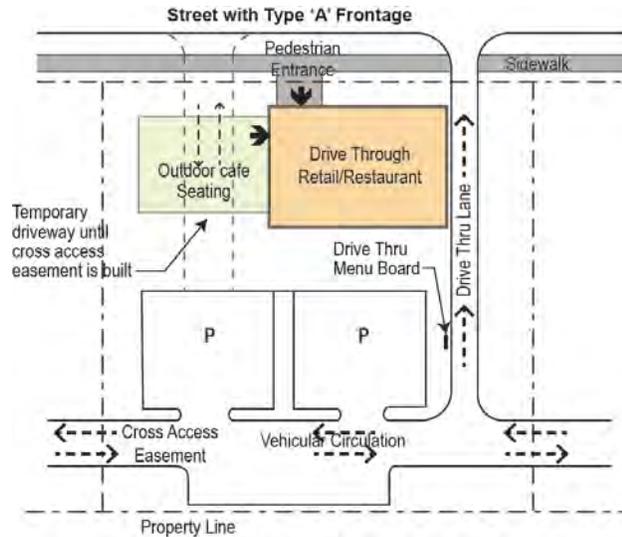
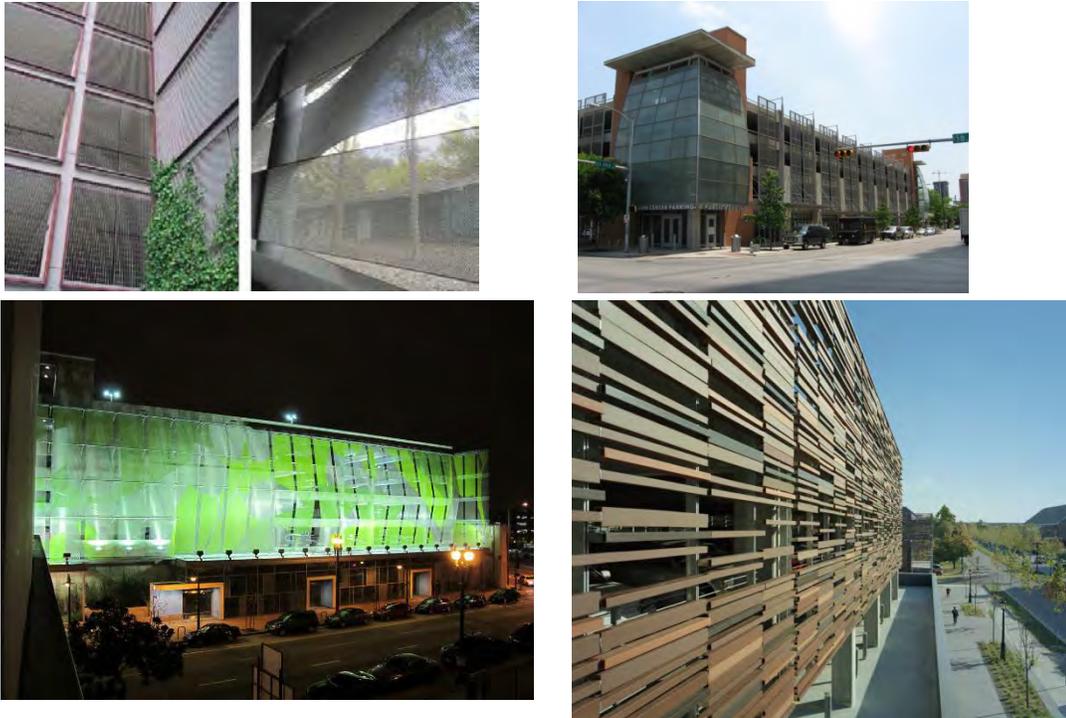


Figure 7-11: Image illustrating the appropriate design of retail/restaurant drive-throughs (Interior Lot)

- (e) All off-street loading, unloading, and trash pick-up areas shall be located internal to the site, along alleys, or Type 'B' Frontages only unless permitted in the specific building form and development standards in Section 6 of this code. If a site has no Type 'B' frontage or Alley access, off-street loading, unloading, and trash pick-up areas may be permitted along the side of a building or a Type 'A' Frontage. Off-street loading, unloading, and trash pick-up areas shall also not be located along TX 183/121 access road frontage.
- (f) All off-street loading, unloading, or trash pick-up areas along any street frontage shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment. The Street Screen shall be composed of the primary building façade material with metal gates.

7.8 Design of Parking Structures

- (a) All ground floors of parking structures located on Type 'A' Frontages shall be built to Commercial Ready standards to a minimum depth of 24 feet.
- (b) To the extent possible, the amount of Type 'A' frontage devoted to a parking structure shall be minimized by placing the shortest dimension(s) of the parking structure along that frontage.
- (c) Where above ground structured parking is located at the perimeter of a building with Type 'A' Frontage, it shall be screened in such a way that cars on all parking levels are completely screened from view (see figures 7-12 below for illustrative images). Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield lighting. Parking garage ramps shall not be visible from any Type 'A' Frontages. Ramps shall not be located along the exterior perimeter of the parking structure along Type 'A' Frontages.



Figures 7-12: Illustrative Examples of Parking Garage Screening

- (d) Ground floor façade treatment (building materials, windows, and architectural detailing) shall be continued to the second floor of a parking structure along all Type 'A' Frontages (see figures 7-13 below).



Figures 7-13: Images showing required façade treatment of parking garages along Type 'A' Frontages

- (e) When parking structures are located at street intersections, corner emphasizing elements (such as towers, pedestrian entrances, signage, glazing, etc.) shall be incorporated (Figures 7-14).
- (f) Parking structures and adjacent sidewalks shall be designed so pedestrians and bicyclists are clearly visible (through sight distance clearance, signage, and other warning signs) to entering and exiting automobiles.



Figures 7-14: Images showing appropriate design of Parking Structures

7.9 Terminated Vistas

Buildings which are located on axis with a terminating street (as indicated on the Regulating Plan Attachment A-1) or at the intersection of streets shall be considered as feature buildings. Buildings with special architectural elements should take advantage of that location. Special architectural elements may include an accentuated entry, a unique building articulation which is off-set from the front wall planes and goes above the main building eave or parapet line, or a tower element. Buildings at a terminated vista shall not include a blank wall, service areas, or parking uses on the ground floor to a minimum depth of 24 feet from the building façade line (see figures 7-15).



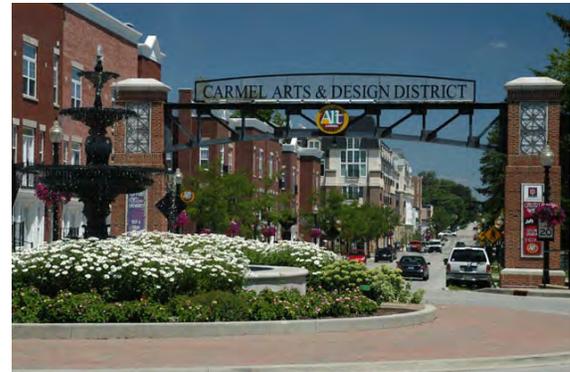


Figures 7-15: Images of buildings with appropriate design elements at Terminated Vistas

7.10 Gateway Elements

The Regulating Plan also identifies desired locations of District Gateways. These locations are intended to include a special monument or other architectural element that announces the arrival at a special destination –Bedford Commons. The special element used can vary based on the location, visibility and prominence within the District. The most prominent being the gateway location at TX 183/121 Frontage Road and Parkwood Drive. Other gateway locations may include Forest Ridge and TX 183/121 and Bedford Road and L. Don Dodson Dr just east of Parkwood Drive.

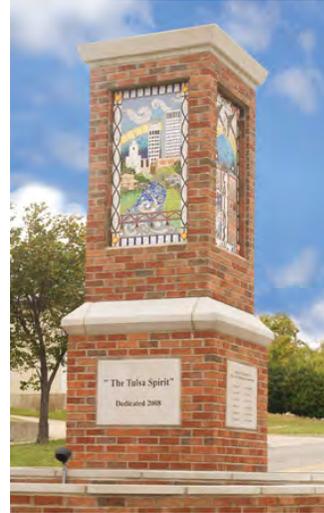
Such gateway entry features shall be approved by City Council after a recommendation from the Planning and Zoning Commission unless the entry gateway design elements have been previously approved in any other plan by the City (see Figures 7-16 and 7-17 below).



Figures 7-16: Examples of appropriate design for prominent gateways into Bedford Commons along Parkwood Drive at TX 183/121.



Image courtesy: Townscape, Inc.



Figures 7-17: Examples of appropriate design for secondary gateways into Bedford Commons

8.0 Street Design Standards

- 8.1 Purpose and Intent:** The Illustrative Vision for Bedford Commons recognizes the importance of providing adequate public infrastructure, which includes an ultimate Street Network of multi-modal streets, and other needed infrastructure to serve the vision for redevelopment within the District.

Street design and connectivity is envisioned to support and balance automobile, bicycle, and walking trips in addition to becoming the “civic” space for development. The “civic” nature of streets will not only serve private redevelopment, but the community at large and the people who live in and use it. This section establishes context sensitive standards for Street Design and Connectivity.

- 8.2 Street Designation Categories:** In order to service both multiple modes of transportation within an appropriate redevelopment context, streets within Bedford Commons are designated under two major categories:

(a) **Street Classification:** The Street Classification designation establishes standards for the actual cross-section of the street itself (i.e., what happens within the R-O-W). The Street Classification includes information on automobile, bicycle, pedestrian, and parking accommodation. It typically addresses the space allocation within the public right-of-way and its emphasis towards different modes of transportation. Attachment A-3 identifies the Street Classification designations within Bedford Commons and Attachment A-4 provides cross sections for the recommended Street Classifications.

(b) **Street Network:** In addition to Street Classification designations, Streets are also identified as either Required or Recommended streets to implement the ultimate street network in the Vision. The Regulating Plan (Attachment A-1) illustrates the proposed Street Network within the Bedford Commons.

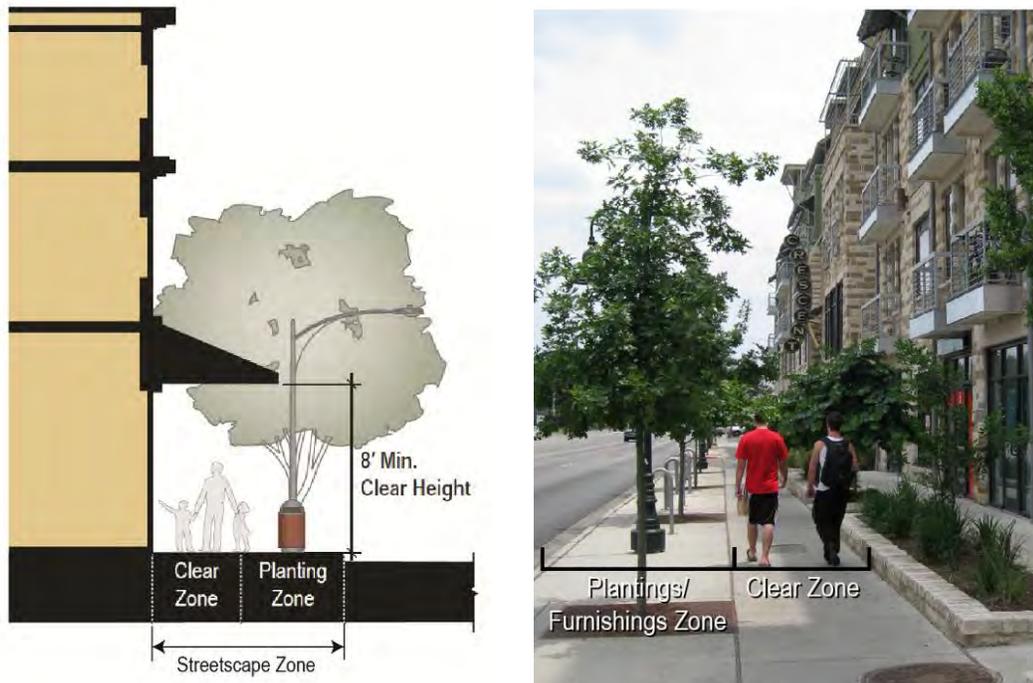
1. **Required Streets** – these are mainly existing, improved or new streets that are needed to implement the ultimate street network envisioned in the Vision for Bedford Commons. They shall be mandatory at the time of redevelopment including the requirement to dedicate right-of-way as identified in the Regulating Plan in conformance with the City of Bedford Subdivision Regulations and Public Works Standards or Attachment A-4. The alignment of new Required Streets may be modified through the site plan process.
2. **Recommended Streets** – these are new streets that are non-mandatory and only indicate the likely locations for new streets and blocks. If a Recommended Street as indicated in the Regulating Plan is implemented through right-of-way dedication per the City of Bedford Subdivision Regulations and Public Works Standards or Attachment A-4, the development shall be exempt from the block standards in Section 6.0 for that specific Character Zone. Recommended Streets may be substituted by pedestrian passages (see Attachment A-4), alleys, or public cross-access easements based on the specific redevelopment context.
3. **Joint Access and Public Cross-access Easements:** If necessary to ensure access management goals within Bedford Commons and meet the intent of the recommended alley/public cross-access easements as indicated on the Regulating Plan, the Development Director may require joint use driveways or public cross-access easements within the site to adjacent properties and/or easements.

- 8.3 Street Cross Sections:** Attachment A-4 shall establish standards for all elements within the public right-of-way including travel lane(s), on-street parking, bicycle accommodation, streetscape/parkway standards, and sidewalk standards. The standards in the City's Public Works Manual or Attachment A-4 shall apply. Landscaping within the public right-of-way shall be per standards in Section 9.0. Attachment A-4 provides recommended cross sections for public streets within Bedford Commons based on available right-of-way and intended development context per the Illustrative Vision.

9.0 Streetscape and Landscape Standards

9.1 Sidewalks. Public sidewalks are required for all development under this code and shall meet the standards of Table 9-1 and shall be based on the Street Classification per Attachments A-3 and A-4. The minimum sidewalk width requirement shall apply regardless of the available right-of-way. If necessary to meet the required sidewalk width, the sidewalk shall extend onto private property to fulfill the minimum requirement, with a sidewalk easement provided. Sidewalks shall consist of two zones: a planting zone located adjacent to the curb, and a clear zone (see figures below).

- (a) **Planting Zone:** The planting zone is intended for the placement of street trees, if required, and street furniture including seating, street lights, waste receptacles, fire hydrants, traffic signs, newspaper vending boxes, bus shelters, bicycle racks, public utility equipment such as electric transformers and water meters, and similar elements in a manner that does not obstruct pedestrian access or motorist visibility.
- (b) **Clear Zone:** The clear zone shall be hardscaped, shall be located adjacent to the planting zone, and shall comply with ADA and Texas Accessibility Standards and shall be unobstructed by any permanent or nonpermanent element for the required minimum width and a minimum height of eight (8) feet. Accessibility is required to connect sidewalk clear zones on adjacent sites.
- (c) **Fee In-Lieu Option:** An applicant may opt to pay a proportional fee in-lieu for the required sidewalk and streetscape improvements if the development project is phased or the sidewalk improvements need to match the timing of a programmed City capital project affecting that street frontage.



Illustrations delineating the Streetscape Zone elements

Table 9-1 Required Public Sidewalk Standards by Street Classification

Street Classification	Avenue	Mixed Use Street	Court Street	General Street
Standard				
Min. Sidewalk width (includes planting zone and clear zone) (feet)	18' min (west side of Forest Ridge) 12' min (east side of Forest Ridge)	13'-6" (varies east of Parkwood along L. Don Dodson)	14'-0"	10'
Min. Planting Zone width (feet) [Street trees may be in tree wells along Type 'A' frontages]	6'	6'	5'	5'
Min. Clear Zone (feet)	12' multi-use trail on the west side of Forest Ridge 6' sidewalk on the east side of Forest Ridge	5'	5'	5'
Street Trees Req'd (see Section 9.2 for standards)	Yes	Yes	Yes	Varies
Recommended Development Frontage	Type 'A' or 'B'	Type 'A'	Type 'A'	Type 'A' or 'B'

9.2 Street Trees and Streetscape:

- (a) Street trees shall be required per Table 9-1 above and Attachment A-4 within the Planting/Furnishings Zone.
- (b) Street trees shall be centered within the Planting/Furnishings Zone and be planted a minimum of 3' from the face of curb or as specified by the City of Bedford.
- (c) Spacing shall be an average of 40 feet on center (measured per block face) along all Streets except General Streets.
- (d) The minimum caliper size for each tree shall be 3" and shall be a minimum of 8 feet in height at planting. Each tree shall be planted in a planting area no less than 36 sq. feet.
- (e) Species shall be selected from the Canopy or Shade trees in the Planting List in Attachment A-7 of this Code.
- (f) Street trees species and location along Forest Ridge Drive shall be selected based on minimal impact from any overhead utility lines.
- (g) Maintenance of all landscape materials shall meet the requirements in 5.6 of the City of Bedford Zoning Ordinance.
- (h) Area between the building facade and property line or edge of existing sidewalk along Type 'A' Frontages shall be such that the sidewalk width shall be a minimum of 10' (with sidewalk easement if necessary) with the remainder of the setback area paved flush with the public sidewalk. Sidewalk cafes, landscaping within tree-wells or planters may be incorporated within this area.

9.3 Screening Standards

- (a) Street Screen Required: Any frontage along all Type 'A' and Type 'B' Frontages with surface parking within the BTZ shall be defined by a 4-foot high Street Screen (see figure below). Furthermore, along all streets (except alleys), service areas shall be screened in such a manner that the service area shall not be visible to a person standing

on the property line on the far side of the adjoining street (see figure below). Required Street Screens shall be of one of the following:

- The same building material as the principal structure on the lot or
 - A vegetative screen composed of shrubs planted to be opaque at maturity, or
 - A combination of the two.
- (b) Species shall be selected from the Planting List in Attachment A-7 of this Code. The required Street Screen shall be located at the minimum setback line along the corresponding frontage.
- (c) Street Screens cannot block any required sight/visibility triangles along a cross street or driveway.
- (d) Street Screens may include breaks to provide pedestrian access from any surface parking or service area to the public sidewalk.

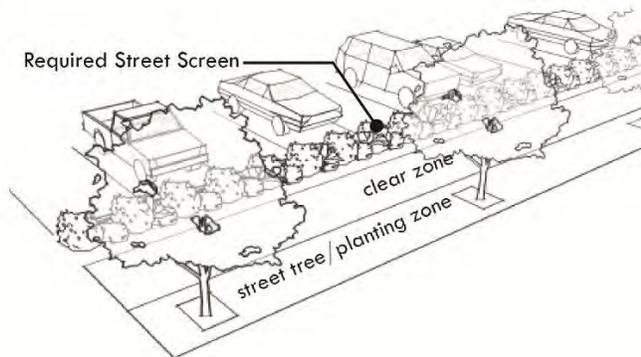


Illustration showing required Street Screen along all frontages without a Building within the BTZ

- (e) Screening of Roof Mounted Equipment: All roof mounted mechanical equipment (except solar panels) shall be screened from view of a person standing on the property line on the far side of the adjoining street (see figure below). The screening material used shall be the same as the primary exterior building material used.

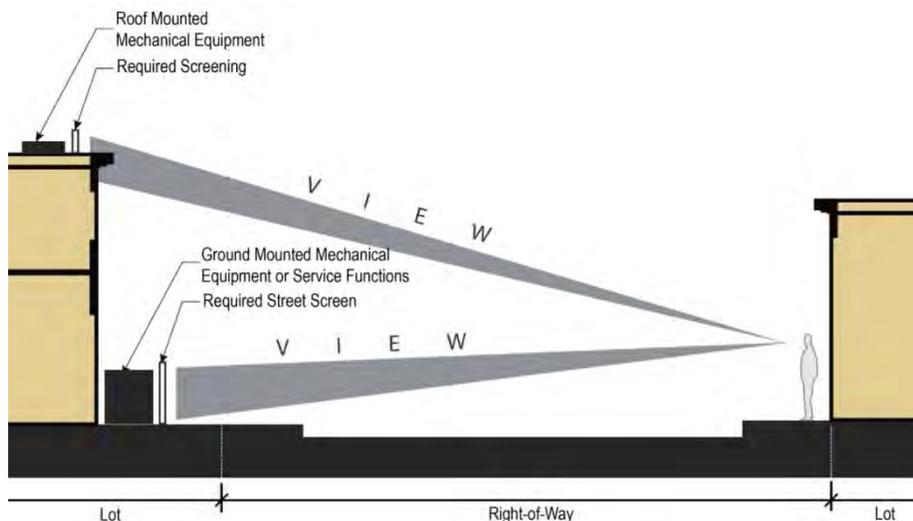


Illustration showing required screening of roof and ground mounted equipment

9.4 Street Lighting: Pedestrian scale lighting shall be required along all Type 'A' Frontages within Bedford Commons. The following standards shall apply for pedestrian scale lighting:

- (a) They shall be no taller than 30 feet.
- (b) Street lights shall be placed at an average of 50 feet on center, approximately 4 feet behind the face of curb or as approved by the City of Bedford in accordance with electric utility company approval.
- (c) The light standard selected shall be compatible with the design of the street and buildings or as approved by the City of Bedford in accordance with electric utility company approval.

9.5 Street Furniture

- (a) Street Furniture shall be placed within the Plantings/Furnishings Zone or within the front setback area only. Benches and bike racks will be placed in alignment with light poles and street trees.
- (b) Trash receptacles shall be required for all development along Type 'A' Frontages. Trash receptacles should be placed at street corners. If development is located mid-block, place the trash can near front entry.
- (c) Street furniture and pedestrian amenities such as benches are recommended along all Type 'A' Frontages.
- (d) All street furniture shall be located in such a manner as to allow a Clear Zone of a minimum of 6 feet in width. Placement of street furniture and fixtures shall be coordinated with organization of sidewalks, landscaping, street trees, building entries, curb cuts, signage, any overhead utilities and other street fixtures.
- (e) Materials selected for paving and street furniture shall be of durable quality and require minimal maintenance and shall be approved by the City of Bedford.

9.6 Utilities

- (a) All utility lines within private property (from any building to the property line) shall be placed underground.
- (b) Along Mixed Use Streets (as defined by Attachment A-3), utility lines (electric and telecommunications) within the right-of-way shall NOT be above ground within the Streetscape Zone. They shall be placed underground, relocated to the rear of the site or relocated along an Alley to the extent feasible as determined by the City.
- (c) Along all other streets (except Alleys), overhead utility lines within the right-of-way are encouraged to be placed underground, relocated to the rear of the site, or relocated along an Alley to the extent feasible as determined by the City.
- (d) Where existing overhead utilities remain or are located behind the curb within the Streetscape Zone, an overhead utility zone shall be provided so that no portion of the building is located within a 10-foot radius of any energized overhead utility. In such cases, street trees may also need to be set back by a minimum of 10 feet as measured from the centerline of the street tree.
- (e) Locations on private property must be found for switchgear and transformer pads needed to serve that property. Such locations shall be either along Type 'B' Frontages or at the side or rear of the property and screened from view of a person standing on the property line on the far side of any adjoining street.

9.7 Parking Lot Landscaping: All surface parking shall meet the standards for parking lot landscaping in the Section 5.6 of the City of Bedford Zoning Ordinance. All landscaping shall use plant materials from the Planting List in Attachment A-7 of this Code.

10.0 Open Space Standards

10.1 Open Space Approach: The Vision for Bedford Commons recognizes the importance of providing a network of open spaces with a multitude of passive and active recreational opportunities. These opportunities are to be accommodated in a variety of spaces ranging from larger scale open spaces to small scale pocket parks located at key nodes within the District in addition to connections along Forest Ridge Drive to the Bedford Boys Ranch. The open space network will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike, providing desired amenities for future residents of both Bedford Commons and adjoining neighborhoods.

The vision for redevelopment of Bedford Commons is to not only provide a community-wide “Commons” or public gathering area but also to provide a range of recreational and cultural opportunities from family-friendly pocket parks to active sidewalks and plazas.

10.2 Required and Recommended Open Space Designations: The Bedford Commons Regulating Plan (Attachment A-1) designates areas for required and recommended Open Spaces. The design standards for a range of open space types are included in Attachment A-5. These standards include general character, design, typical size, frontage requirements, and typical uses.

- (a) Required Open Spaces are the areas shown on the Regulating Plan with specific locations of future Open Spaces. The only Required Open Space designation is the “Commons” at the intersection of L. Don Dodson and Parkwood Drives. This is intended to be the main public gathering place for community events and the heart of Bedford’s civic life. This public “Commons” has been identified on the Regulating Plan due to its important location anchoring both the Civic Mixed Use and Core Mixed Use Character Zones and as a center of the district.
- (b) Recommended Open Spaces are those areas shown on the Regulating Plan as desirable locations for future Open Spaces (including environmentally sensitive areas, parks, plazas, greens, and squares). These spaces have been identified on the Regulating Plan in order to communicate the vision for development within Bedford Commons. The location of any Recommended Open Space should be a priority consideration while allocating any required Public and Private Common Open Space per this Section.

10.3 Open Space Classification: For the purposes of this Code, all open space shall fall into one of the following two major classes.

- (a) Public Open Space: Open air or unenclosed to semi-unenclosed areas intended for public access and use. These areas range in size and development and serve to compliment and connect surrounding land uses and neighborhoods.
- (b) Private Common Open Space: A privately owned outdoor or unenclosed area, located on the ground or on a terrace, deck, porch, or roof, designed and accessible for outdoor gathering, recreation, and landscaping and intended for use by the residents, employees, and/or visitors to the development.

10.4 Open Space Requirements

- (a) All new residential development shall provide open space at a rate of 15% of the gross site area. Such open space shall include both Public Open Space and Private Common Open Space.
- (b) A minimum of 50% of the total open space area required shall be in the form of Public Open Space (shall be publicly accessible, may be privately owned and/or maintained).
- (c) No more than 10% of the total open space area provided shall be dedicated to active sports areas such as ball fields, tennis and basket ball courts, etc.

- (d) When allocating any Public or Private Common Open Space per the requirements in this Section, priority shall be given to any Recommended Open/Civic Space locations that impact the subject property as identified in the Regulating Plan.
- (e) Attachment A-5 shall provide the palette of allowable open/civic space types and the respective standards.

11.0 Sign Standards

11.1 Applicability: Except as specifically listed below, all other signage and sign standards shall comply with the City of Bedford Sign Ordinance, as amended.

- (a) Signs within the Highway Mixed Use and Regional Retail and Employment Zones shall comply with the City of Bedford Sign Ordinance, as amended as they apply to the “H” Zoning District.
- (b) The standards in this Section shall apply only to signs within the Core Mixed Use and Civic Mixed Use Zones of Bedford Commons unless a Master Sign Plan has been approved per Section 11.2 below.
- (c) Signs not expressly permitted in Table 11-1 below may only be permitted if approved as part of a Master Sign Plan approved by City Council or as part of a site plan application.
- (d) Section 6-68. Administration and Enforcement, and Division 2, pertaining to Construction and Installation, of the City of Bedford Sign Ordinance shall apply to all permitted signs within Bedford Commons unless alternative standards are established in this Section or through a Master Sign Plan.
- (e) Sign permits shall be approved administratively by the City unless specifically noted in this section.

11.2 Master Sign Plans: An applicant may establish unique sign standards including size, color, type, design, and location. Such applications shall be reviewed as “Master Sign Plans” by the Director of Development or Designee and are subject to approval of the City Council. In evaluating a Master Sign Plan, the City Council shall consider the extent to which the application:

- (a) Promotes consistency among signs within a development thus creating visual harmony between signs, buildings, and other components of the property;
- (b) Enhances the compatibility of signs with the architectural and site design features within a development;
- (c) Encourages signage that is in character with planned and existing uses thus creating a unique sense of place; and
- (d) Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.

11.3 Permitted Sign Standards

Table 11-1 Permitted Sign Types by Character Zone

Sign Type	Character Zone Allowed	Description & Image	Standard
Permanent Signs			
<p>(a) CORRIDOR MONUMENT SIGNS</p>	<p>Civic MU (Permitted along Forest Ridge and Bedford Road frontages only)</p>	<p>A sign not attached to a building, but permanently supported by a structure extending from the ground and permanently attached to the ground.</p> 	<ul style="list-style-type: none"> i. Maximum area of 0.5 sq. ft. for each linear foot of street frontage with a maximum of 100 sq. ft. ii. Maximum height of 10 ft. above frontage street pavement grade. iii. One sign per lot iv. For lots fronting two streets, one sign is permitted on each street.
<p>(b) BUILDING IDENTITY SIGN</p>	<p>Civic MU Core MU</p>	<p>A Wall Sign attached to the upper floor of a multiple story building or parapet of single tenant one-story building that provides identification of the entire building. (May be used instead of the Building Projecting Sign)</p> 	<ul style="list-style-type: none"> i. May be used for single tenant commercial or institutional buildings only (multiple tenant building shall be subject to standards for Storefront/Tenant Wall Sign below). ii. May be used instead of a Building Projecting Sign only iii. Maximum area of 150 sq. ft. or 12% of linear frontage of façade, whichever is less. iv. Mount no lower than 25 ft. above finished grade. v. No more than 15% of façade area above 25 ft. can contain Building Identity signs.
<p>(c) STOREFRONT/TENANT WALL SIGNS</p>	<p>Civic MU Core MU</p>	<p>Wall Sign attached to a retail storefront or sign band area directly adjacent to the retail storefront within a multi-tenant building. (May be used instead of a Tenant Canopy Sign)</p> 	<ul style="list-style-type: none"> i. May be used for multiple tenant commercial or institutional buildings only (single tenant building shall be subject to Building Identity Sign Standard above). ii. May be used instead of a Tenant Canopy Sign only iii. May be located on the ground floor façade only (sign to be mounted below 25 feet as measured from finished grade outside the facade). iv. One sign per tenant space; area to be calculated at 1.5 sq.ft. per linear foot of tenant space façade along the building's frontage up to a maximum of 100 sq.ft. v. Sign to be located between demising

Table 11-1 Permitted Sign Types by Character Zone

Sign Type	Character Zone Allowed	Description & Image	Standard
			walls of leased storefront. vi. Sign shall not overlap architectural features like window lintels, canopy support points, coping, etc. vii. Wall sign may encroach, a maximum of 12", on to a sidewalk while maintaining a vertical clearance of 8 ft. from the finished sidewalk if it is non-illuminated and 11 ft from the finished sidewalk if it is illuminated. viii. Building signs may be internally or externally lit. ix. Live-Work and Home occupations: One sign limited to an area of 30 sq. ft. max.
<p>(d) BUILDING PROJECTING SIGNS</p>	<p>Civic MU Core MU</p>	<p>Wall Sign that extends a distance of more than 12" perpendicular from the building façade. Sign is placed on the upper floors of a multiple story building. (May be used instead of the Building Identity Sign)</p> 	<p>i. Building Projecting sign may be permitted in place of a Building Identity Sign. ii. Maximum area of 200 sq. ft. or 15% of the façade area, whichever is less iii. Will not obstruct any pedestrian or vehicular way (vertical clearance of 8 ft. from the finished sidewalk if it is non-illuminated and 11 ft from the finished sidewalk if it is illuminated). iv. Sign may project no more than 50% of the width of the sidewalk or 6 ft. from building façade line (whichever is less). v. Sign may not extend above building parapet line or eaves line. vi. Maximum of one per street fronting facade</p>
<p>(e) TENANT CANOPY SIGNS</p>	<p>Civic MU Core MU</p>	<p>A sign mounted to a canopy or awning that is within or directly adjacent to a retail storefront. (May be used instead of a Storefront/Tenant Wall Sign)</p> 	<p>i. May only be used instead of a Storefront/Tenant Wall Sign. ii. One sign per tenant space; area to be calculated at 1.5 sq.ft. per linear foot of tenant space façade along the building's frontage up to a maximum of 100 sq.ft. iii. Sign to be located between demising walls of leased storefront. iv. Sign shall not extend beyond outermost edges of canopy. v. Signs are to be mounted over the canopy, on the face of a canopy or awnings</p>

Table 11-1 Permitted Sign Types by Character Zone

Sign Type	Character Zone Allowed	Description & Image	Standard
(f) TENANT BLADE SIGNS	Civic MU Core MU	<p>Wall Sign that extends a distance more than 12” perpendicular from the building façade and is oriented towards the sidewalk. Sign is mounted to a retail storefront or may be mounted under a canopy.</p> 	<ul style="list-style-type: none"> i. One Blade sign per tenant space ii. May be located on the ground floor façade only (sign to be mounted below 15 feet as measured from finished grade outside the facade) iii. Maximum area of 20 sq. ft. iv. Shall not obstruct any pedestrian or vehicular way. Minimum vertical clearance of 8 ft. from the finished sidewalk if it is non-illuminated and 11 ft from the finished sidewalk if it is illuminated. v. Sign may project no more than 4 ft. from building wall or a distance equal to 50% of the width of the abutting sidewalk (whichever is less).
(g) WINDOW SIGNS	Civic MU Core MU	<p>A sign mounted to or intended to be seen through a window or storefront.</p> 	<ul style="list-style-type: none"> i. No permit is required for small-scale (4.0 sq. ft. and under in total area) signs placed at the pedestrian eye level. These exempted signs include: tenant logo and name, open/closed, website or other social media address store hours and address, and public safety decals as required by applicable codes or government regulations. ii. Window signs include any signage attached to the storefront glazing or located on storefront interior within 3 ft. of the storefront and intended to be viewed from the storefront exterior. iii. Maximum area of 25% of overall glazed storefront, including doors.
(h) DIRECTIONAL SIGNS	Civic MU	<p>A automobile-oriented sign with directional information intended to direct drivers to various destinations within a larger development with multiple buildings.</p>	<ul style="list-style-type: none"> i. Permitted only for multi-tenant commercial and mixed-use developments with multiple buildings within one development. ii. Applies only to signs located at lot entrances accessible from public streets. iii. Maximum size of 60 sq. ft. iv. Maximum height of 8 ft. above frontage street pavement grade. v. One sign permitted per development entrance. Maximum of two signs per street frontage. vi. Signs located on interior of site and not intended to be viewed or utilized

Table 11-1 Permitted Sign Types by Character Zone

Sign Type	Character Zone Allowed	Description & Image	Standard
			<p>by traffic on public streets do not require a permit.</p>
<p>(i) DIRECTORY SIGNS</p>	<p>Civic MU Core MU</p>	<p>A pedestrian oriented sign containing a listing and or map of the tenants and destinations within an area, block, building or development.</p>  	<p>i. Signs located on interior of lot or pedestrian oriented (not intended to be viewed or utilized by traffic on public streets) do not require a sign permit (building permits may be required). In such cases, any sign lettering or logos used must be less than 2" (max.).</p>
<p>(i) SANDWICH BOARD SIGNS</p>	<p>Civic MU Core MU</p>	<p>A temporary sign with two connected faces usually arranged back to back (A-frame or single panel).</p>	<p>i. Permitted only for retail, service, or restaurant tenants. ii. Maximum area of 8 sq. ft. per sign face iii. Maximum height of 4 ft. iv. One per storefront. v. Sign shall not interfere with any pedestrian way and a minimum of 6 ft. of sidewalk shall remain clear. vi. Chalkboards may be used for daily changing of messages. Reader boards (electronic and non-electronic) shall be prohibited. vii. Sign shall be removed every day</p>

Table 11-1 Permitted Sign Types by Character Zone

Sign Type	Character Zone Allowed	Description & Image	Standard
			after the business is closed
(k) ADDRESS SIGNS	Civic MU Core MU	<p>A sign containing only the lot, building or retail tenant address.</p> 	Standards in the City of Bedford regulations shall apply.
(l) MARQUEE SIGN	Civic MU Core MU	<p>A sign placed over the entrance to a theatre or other public gathering venue. It has signage stating either the name of the establishment or, in the case of theatres or other public venues, the name of the event, artist, and other details of the event appearing at that venue. The marquee is often identifiable by a surrounding cache of light bulbs, usually yellow or white, that flash intermittently or as chasing lights. Marquee signs may often be combined with Building Projecting signs.</p>	<ul style="list-style-type: none"> i. Permitted for theatres, auditoriums, and other public gathering venues of 100 persons or more ii. Marquee signs shall be attached to the building or located above or below a canopy only iii. Area = 100 sq ft. maximum iv. Message board may be changeable copy (electronic or non-electronic).

Table 11-1 Permitted Sign Types by Character Zone

Sign Type	Character Zone Allowed	Description & Image	Standard
			
Temporary Signs			
<p>(a) BANNERS</p>	<p>Civic MU Core MU</p>	<p>A temporary fabric or vinyl sign hung from a building façade, catenaries, or utility pole.</p> 	<p>Standards for Horizontal and Vertical Banners in Section 6-72 of the City of Bedford Sign Ordinance shall apply.</p>

Table 11-1 Permitted Sign Types by Character Zone

Sign Type	Character Zone Allowed	Description & Image	Standard
(b) TEMPORARY CONSTRUCTION SIGNS	Civic MU Core MU	<p>A temporary sign mounted to a building, construction fence, or other structure that announces a new business or construction project.</p> 	Standards for Residential Construction Signs in Section 6-72 of the City of Bedford Sign Ordinance shall apply.
(c) Other Temporary Signs	Civic MU Core MU	<p>Other temporary signs permitted include: New Business “Coming Soon”, New Business “Now Open”, Political, Church, charity & civic (on-premise and off-premise sign), Decorative Flags, Real Estate Land, Residential Construction, Rent or Lease, Open House Advertising, Multi-family units for rent or lease banner, Commercial Complex For Lease or Sale (free standing and wall signs), New Commercial Building</p>	<p>Standards in Section 6-72. Temporary Signs, of the City of Bedford Sign Ordinance shall apply. Temporary signs not listed in this Section of the Bedford Commons Code shall be prohibited.</p>

Bedford Commons
Planned Unit Development Code

ATTACHMENTS

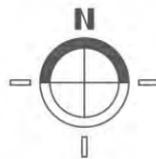
Adopted
June 23, 2015

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- A-5: Palette of Open Space Types
- A-6: Development Review Process Flow Chart
- A-7: Planting List

A-1: Regulating Plan

Bedford Commons
 Attachment A-1 Regulating Plan
 June 23, 2015 **ADOPTED**

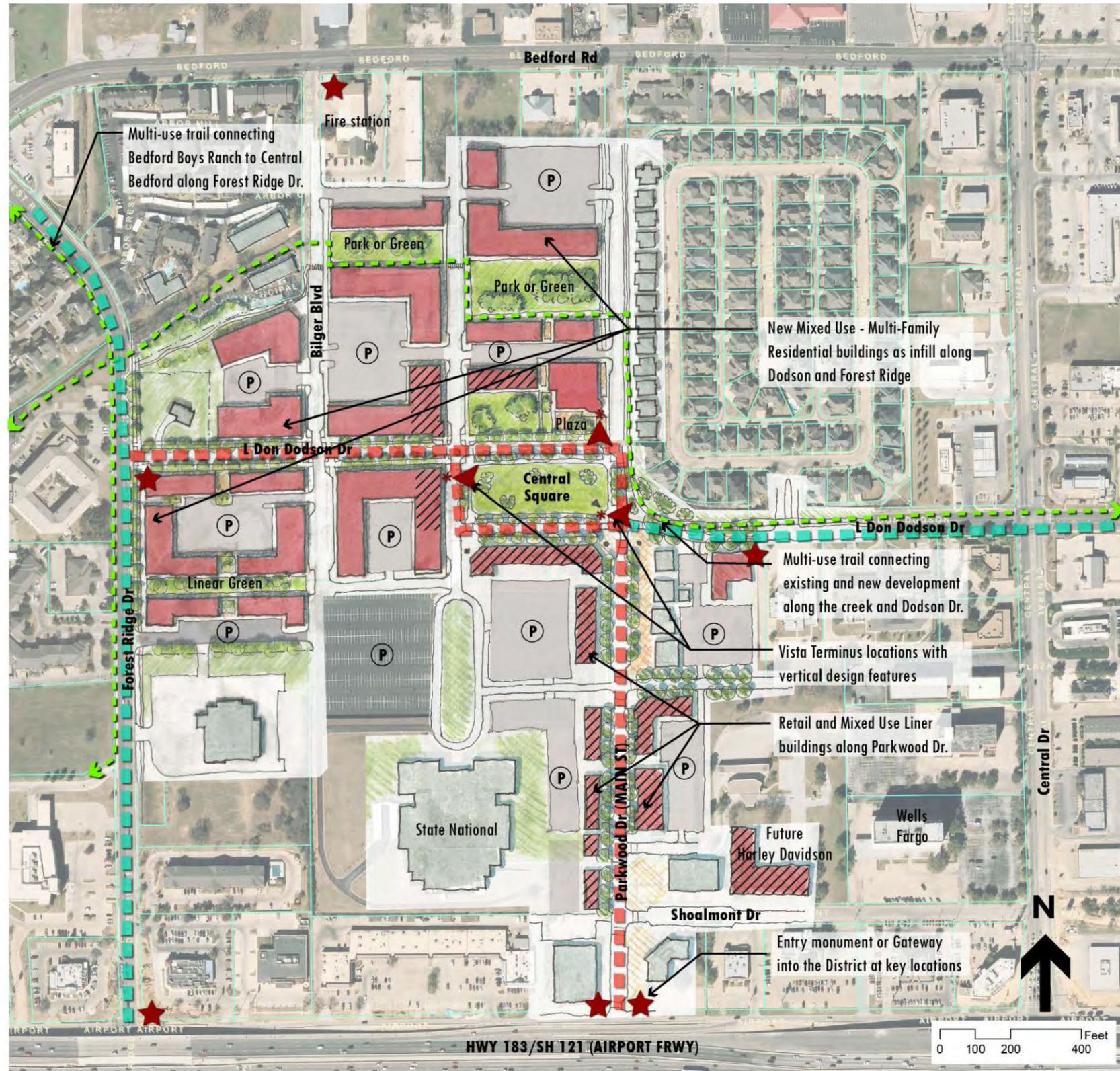


LEGEND	
CHARACTER ZONES	STREET NETWORK
Core Mixed Use	Required Street
Highway Mixed Use	Recommended Street
Regional Retail & Employment	Existing/ Improved Street
Civic Mixed Use	Recommended Alley/ Cross Access Easement
CIVIC / OPEN SPACE TYPES	FRONTAGE TYPES *
Required Civic/ Open Space	Type 'A' Frontage
Recommended Civic/ Open Space	Type 'B' Frontage
OTHER	
Terminated Vista	Central Bedford District
Gateway Element	Multi-Use Trail

*A minimum of one block face per block shall be developed to meet the standards of a Type 'A' Development Frontage



A-2: Illustrative Vision



Attachment A-2

Bedford Commons Illustrative Vision

June 23, 2015

Adopted

LEGEND

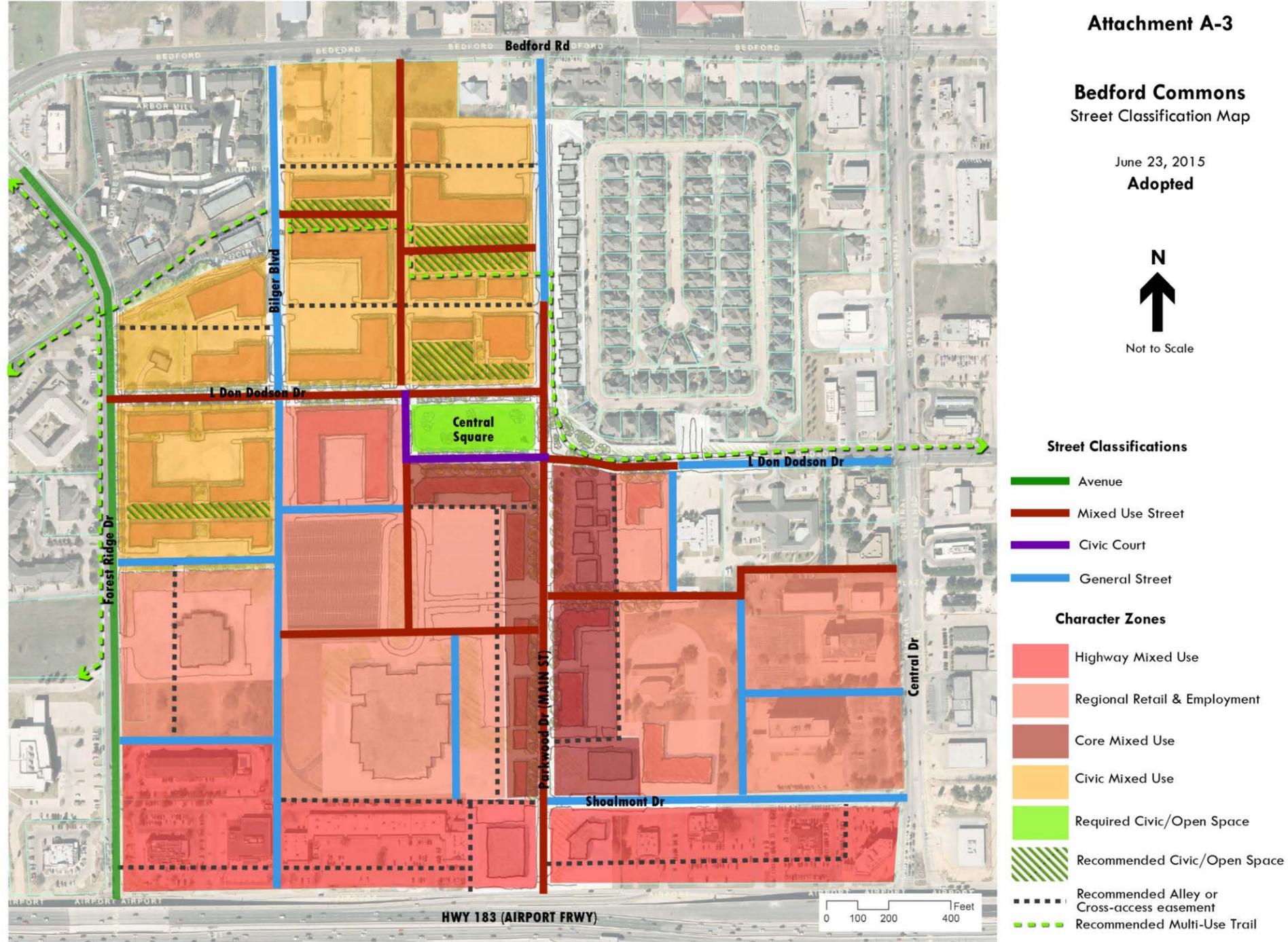
- Improved Street -Retail/Mixed Use
- Improved Street -Multi-modal
- Potential new retail/mixed use
- Potential new residential/mixed use
- Existing Buildings
- Off-Street Parking & Shared Parking
- Multi-use trail

Note: Redevelopment concepts shown are conceptual only. They are only intended to convey the vision for Bedford Commons.

GATEWAYPLANNING
A VIALTA GROUP PARTNER



A-3: Street Classification Map

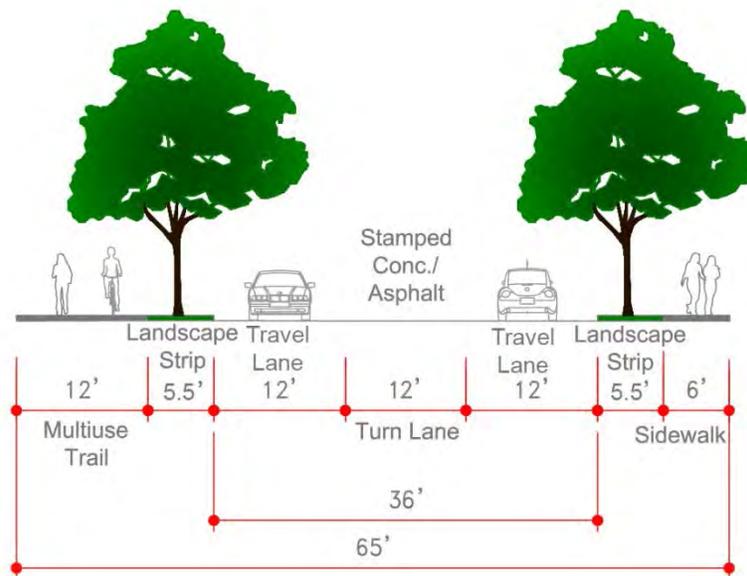


Attachment A-4

Recommended Street Cross Sections

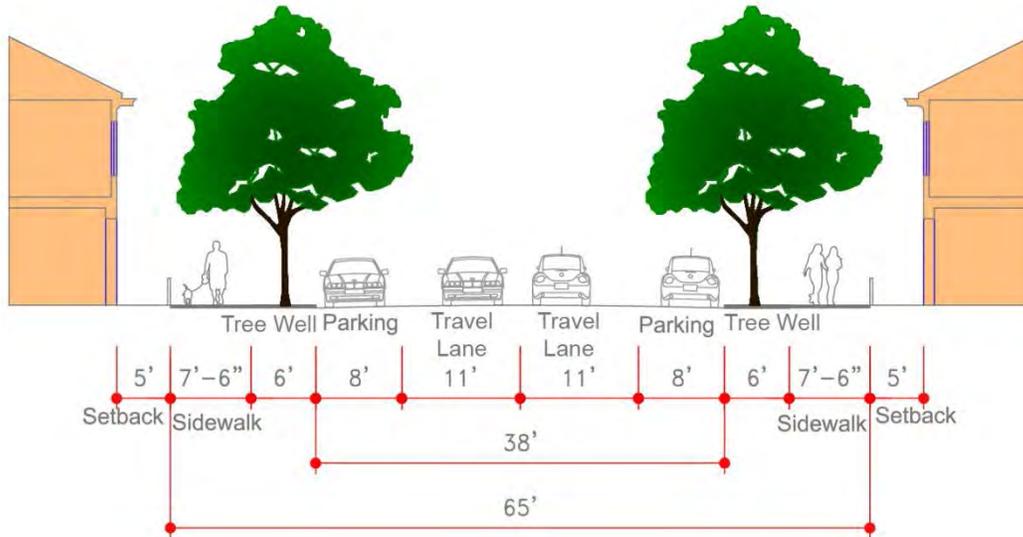
The following street cross sections are established for the Street Classifications as established in Attachment A-3 within both the character zones of the Central Bedford District. The cross sections (including vehicular lane and on-street parking configurations, street tree placement, etc.) may be adjusted to fit existing contexts or other development contexts consistent with the vision for Central Bedford with the approval of the City Engineer. In addition, the proposed cross sections may be adjusted to meet the needs of the Uniform Fire Code as adopted by the City.

Avenue (Forest Ridge Drive)



Mixed Use Street

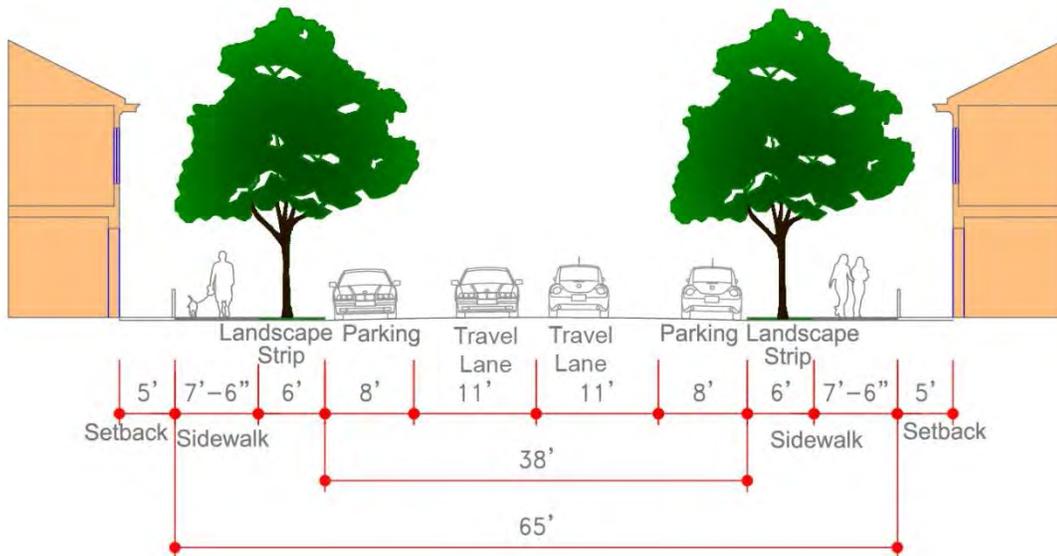
(Parkwood Dr. and Future Streets with Type 'A' Frontage in the Core Mixed Use and Regional Retail and Employment Character Zones)



**On New Type 'A' Streets, on street parking may also be angled on either side with additional ROW/ easement dedication based on the proposed development context.*

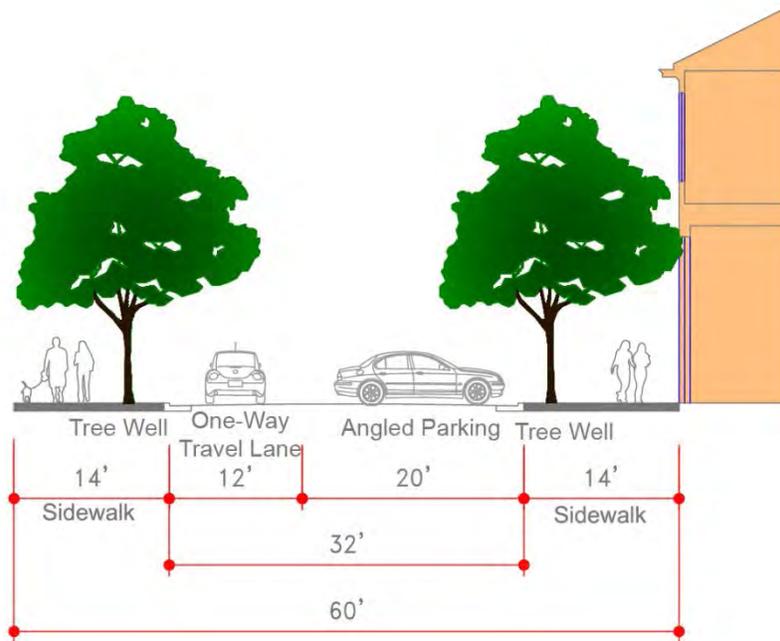
Mixed Use Street

(L. Don Dodson Dr. west of Parkwood and Future Streets with Type 'A' Frontage in the Civic Mixed Use Zone)

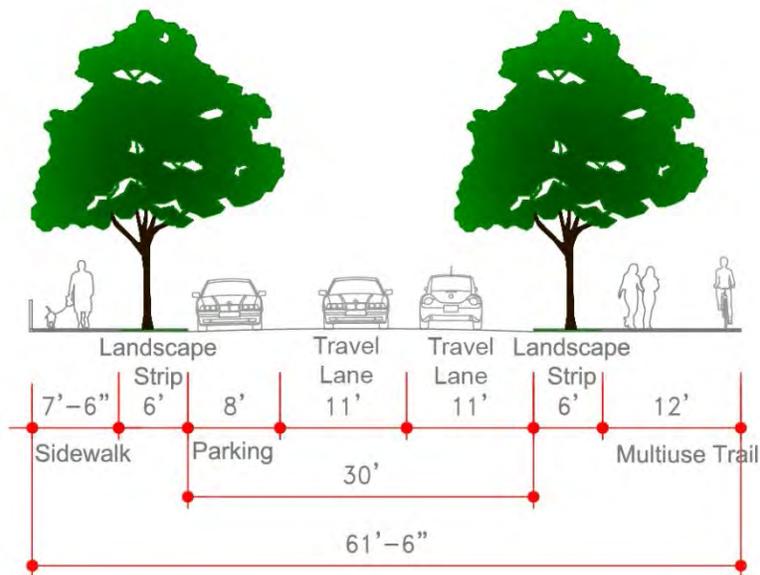


**On New Type 'A' Streets, on street parking may also be angled on either side with additional ROW/ easement dedication based on the proposed development context.*

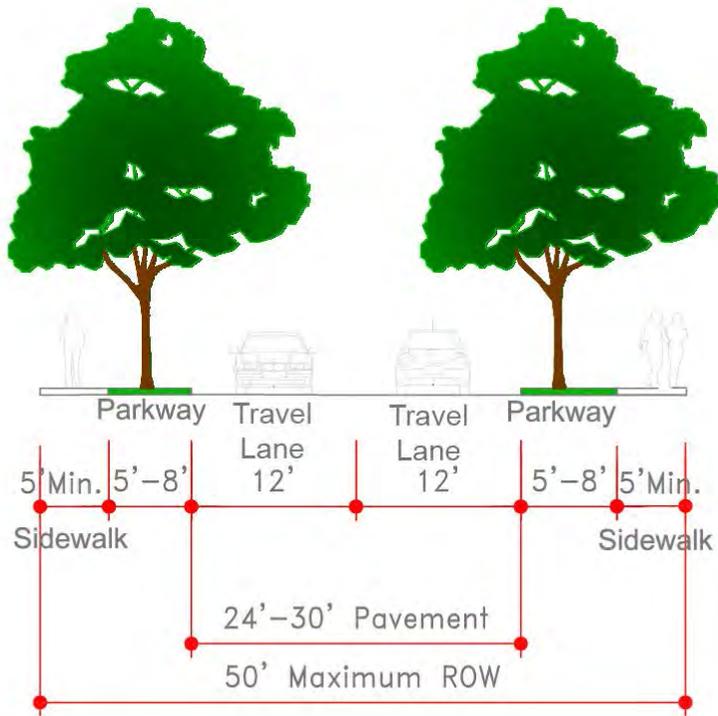
Civic Court (Around the “Commons”)



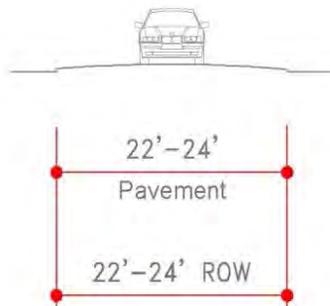
**General Street
(L. Don Dodson east of Parkwood Dr. With Trail)**



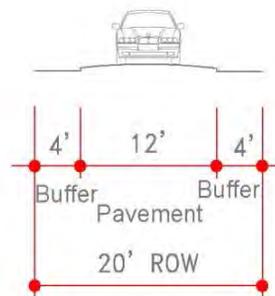
General Street
(Other Streets with Type 'B' Frontage)



Commercial Alley



Residential Alley



Attachment A-5

Open Space Types and Standards

The Open Space Types and Standards contained herein shall be used as a guide to fulfill the required and recommended Open Space requirements of Section 10 of the Central Bedford Development Code. These open space types may be Public or Private Common Open Spaces. The following section provides a description of these open space types including the design context and criteria consistent with the Vision for Central Bedford.

1. Public Open/Civic Space Types

(a) Pocket Park Standards



Pocket Parks are small scale public urban open spaces intended to provide recreational opportunities where (publicly accessible/park) space is limited. Typically, pocket parks should be placed within the Civic Mixed Use Zone. They are often located between buildings and developments; on single vacant lots; and on small irregular pieces of land. Low maintenance landscaping and facilities is recommended in order to support multiple pocket parks in a park system.

Development may include pavilions, picnic tables, small performance stage, seating areas, gathering areas, family play areas, gazebos, small game areas, small community gardens, dog parks, and interactive art. Shade and lighting is desired.

Typical Characteristics

General Character

Small urban open space responding to specific user groups and space available.

Range of character can be for intense use or aesthetic enjoyment. Low maintenance is essential.

Location and Size

0.25 – 1.99 acres
 Within walking distance of either a few blocks or up to a 1/4 mile of residences

Typical Uses

Varies per user group

(b) **Green Standards**



A Green is a public urban open space available for civic purposes, commercial activity, unstructured recreation and other passive uses. Greens shall primarily be naturally landscaped with many shaded places to sit. Open lawn areas shall encourage civic gathering. Appropriate paths, civic elements, fountains or open shelters may be included and shall be formally placed within the Green.

A Green shall be adjacent to a public right of way and be spatially defined by buildings which shall front onto and activate this space.

Typical Characteristics

General Character

- Open space
- Spatially defined by street and building frontages and landscaping
- Lawns, trees and shrubs naturally disposed
- Open shelters and paths formally disposed

Location and Size

- 0.25 – 4 acres
- Minimum width – 25'
- Minimum pervious cover – 80%
- Minimum perimeter frontage on public right of way – 50%

Typical Uses

- Unstructured recreation
- Casual seating
- Commercial and civic uses
- No organized sports

(c) **Square Standards**



A square is a public urban open space available for civic purposes, commercial activity, unstructured recreation and other passive uses. The square should have an urban, formal character and be defined by the surrounding building frontages and adjacent tree-lined streets. All buildings adjacent to the square shall front onto the square. Adjacent streets shall be lined with appropriately scaled trees that help to define the square.

The landscape shall consist of lawns, trees, and shrubs planted in formal patterns and furnished with paths and benches. Shaded areas for seating should be provided. A civic element or small structure such as an open shelter, pergola, or fountain may be provided within the square.

Typical Characteristics

General Character

- Formal open space
- Spatially defined by buildings and tree-lined streets.
- Open shelters, paths, lawns, and trees formally arranged
- Walkways and plantings at all edges
- Abundant seating opportunities

Location and Size

- 0.25 – 4 acres
- Minimum width – 25'
- Minimum pervious cover – 60%
- Minimum perimeter frontage on public right of way – 60%
- Located at important intersections

Typical Uses

- Unstructured and passive recreation – no organized sports.
- Community gathering
- Occasional commercial and civic uses

(d) **Plaza Standards**



A plaza is a public urban open space that offers abundant opportunities for civic gathering. Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces.

The landscape should have a balance of hardscape and planting. Various types of seating should be provided from planter seat walls, to steps, to benches, to tables, and chairs. Trees should be provided for shade. They should be formally arranged and of appropriate scale. Plazas typically should be located at the intersection of important streets. A minimum of one public street frontage shall be required for plazas.

Typical Characteristics

General Character

Formal open space

A balance of hardscape and planting

Trees important for shade

Spatially defined by building frontages

Location and Size

0.1 – 1 acre

Minimum width – 30'

Minimum pervious cover – 20%

Minimum perimeter frontage on public right of way – 25%

Located at important intersections, at vista termini, or at entrances to public/civic buildings

Typical Uses

Commercial and civic uses

Formal and casual seating

Tables and chairs for outdoor dining

Retail and food kiosks

(e) **Pocket Plaza Standards**



A pocket plaza is a small scale public urban open space that serves as an impromptu gathering place for civic, social, and commercial purposes. The pocket plaza is designed as a well-defined area of refuge separate from the public sidewalk. It is frequently located in a building supplemental zone next to the streetscape.

These areas contain a lesser amount of pervious surface than other open space types. Outdoor dining with café tables and chairs, water features, public art and other shaded amenities are appropriate uses.

Typical Characteristics

General Character

- Formal open space for gathering
- Defined seating areas
- Refuge from the public sidewalk
- Spatially defined by the building configuration

Location and Size

- Min. 300 s.f.
- Min. width – 15' / Max. width 20'
- Minimum pervious cover –10 %
- Minimum perimeter frontage on public right of way – 25%
- Located at important intersections, at vista termini, or at entrances to public/civic buildings

Typical Uses

- Civic and commercial uses
- Formal and casual seating

(f) Pedestrian Passage (Paseo) Standards



Pedestrian passages or paseos are linear public urban open spaces that connect one street to another at through-block locations. Pedestrian passages create intimate linkages through buildings at designated locations. These wide pathways provide direct pedestrian access to residential or other commercial addresses and create unique spaces for frontages to engage and enter off of. Pedestrian passages allow for social and commercial activity to spill into the public realm.

Pedestrian passages should consist of a hardscape pathway with pervious pavers activated by frequent entries and exterior stairways. The edges may simply be landscaped with minimal planting and potted plants. Shade is required for the success of the paseo.

Typical Characteristics

General Character

Hardscape pathway with pervious pavers

Defined by building frontages

Frequent side entries and frontages

Shade Required

Minimal planting and potted plants

Maintain the character of surrounding buildings

Standards

Min. Width 15 feet

Typical Uses

Pedestrian connection and access

Casual seating

(g) Multi-Use Trail Standards



A multi-use trail is a linear public urban open space that accommodates two or more users on the same, undivided trail. Trail users could include pedestrians, bicyclists, skaters, etc. A trail frequently provides an important place for active recreation and creates a connection to regional paths and biking trails.

Trails within greenways or neighborhood parks shall be naturally disposed with low impact paving materials so there is minimal impact to the existing creek bed and landscape.

The multi-use trail on the west side Forest Ridge Drive and connecting along the northern boundary of the Central Bedford District and east along L. Don Dodson would provide much needed pedestrian and bicycle connectivity to the Bedford Boys Ranch and neighborhoods east of Central Ave.

This trail shall have a more formal disposition with a paved trail, frequent gathering spaces, and regular landscaping. The trail along Forest Ridge should emphasize the corridor as an important link to the city's Cultural District.

Pedestrian amenities add to recreational opportunities, particularly in an urban setting. These include drinking fountains, scenic view posts, fitness stations, and directional signs, and may be spread along the trail or grouped in a trailhead area.

Typical Characteristics

General Character

Multi-use trail in Neighborhood Park:

Naturally disposed landscape

Low impact paving

Trees lining trail for shade

Appropriately lit for safety

Formally disposed pedestrian furniture, landscaping and lighting

Multi-use trail along Forest Ridge Dr.:

Paved trail with frequent gathering spaces and regular landscaping.

Standards

Min. Width	12 feet
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Typical Uses

Active and passive recreation

Casual seating

(h) Family-friendly Play Area Standards



Family-friendly play areas are areas within urban open spaces that are conducive to the recreational needs of families with children. Family-friendly play areas range in style from urban pocket parks within mixed use developments to playscapes within neighborhood parks.

These play areas should serve as quiet, safe places -- protected from the street and typically located where children do not have to cross major streets to access. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Shaded areas and seating shall be provided for ease of supervision.

Playscape equipment and design must be reviewed and approved by the City prior to installation. The need for fencing depends on the surrounding environment.

A larger playground may be incorporated into a neighborhood park, whereas a more intimate family oriented design may be incorporated into a pocket park.

Typical Characteristics

General Character

Focused toward family-friendly needs

Fencing depends on surroundings

Open shelter

Shade and seating provided

Play structure, interactive art or fountains

Standards

Min. Size 300 sq.ft.

Max. Size N/A

As described by open space type in which playground is located

Protected from traffic

No service or mechanical equipment

Typical Uses

Active and passive recreation

Unstructured recreation

Casual seating

2. Private Common Open Space Types

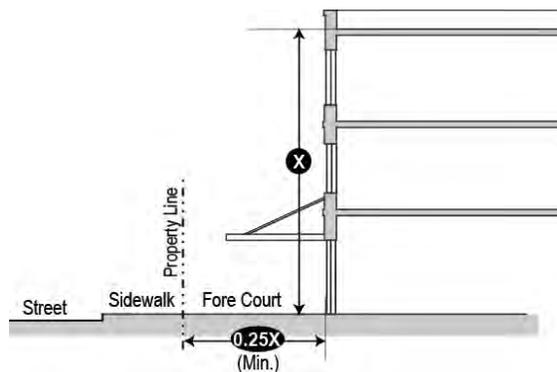
(a) Forecourt Standards



Forecourt is a small scale private common open space surrounded on at least two sides by buildings. A forecourt is typically a building entry providing a transition space from the sidewalk to the building. The character serves as a visual announcement of the building to visitors with additional amenities such as signage, water features, seating, planting, etc.

Forecourts should be laid out proportionate to building height with a 1:4 (min.) ratio (see figure below). In order to offset the impact of taller buildings, the detail of the forecourt level should seek to bring down the relative scale of the space with shade elements, trees, etc.

The hardscape should primarily accommodate circulation. Seating and shade are important for visitors. Trees and plantings are critical to create a minimum of 30% pervious cover and offset the effect of the urban heat island.



Typical Characteristics

General Character

Small scale private common open space
Defined by buildings on at least 2 sides with connection to public sidewalk

Size of court should be proportionate to building height

Hardscape should accommodate entry circulation

Trees and plants are critical

Enhance the character of surrounding buildings

Standards

Min. Width 25'

Minimum Size Depth: Based on building height ratio;
Width: min. of 50% of the building's frontage along that street

Minimum pervious cover – 30%

Typical Uses

Building Entry Circulation

Visual building announcement

(b) Courtyard Standards



Courtyards are small scale private common open spaces surrounded on at least three sides by buildings with a pedestrian connection to a public sidewalk. Courtyards maintain the character and style of the surrounding buildings.

Courtyards should be laid out proportionate to building height between 1:1 and 2:1 ratio. In order to offset the impact of taller buildings, the detail of the courtyard level should seek to bring down the relative scale of the space with shade elements, trees, etc. Transition areas should be set up between the building face and the center of the court.

The hardscape should accommodate circulation, gathering, seating, and shade. Trees and plantings are critical to create a minimum of 30% pervious cover and offset the effect of the urban heat island.

Typical Characteristics

General Character

Small scale private common open space

Defined by buildings on at least 3 sides with connection to public sidewalk

Size of court should be proportionate to building height

Hardscape should accommodate circulation, gathering, and seating.

Trees and plants are critical

Maintain the character of surrounding buildings

Standards

Min. Width 25'

Minimum Area 650 s.f.

Minimum pervious cover – 30%

Typical Uses

Gathering

Casual seating

(c) Roof Terrace Standards



A Roof Terrace is a private common open space serving as a gathering space for tenants and residents that might not be at grade.

Up to 50% of the required private common open space may be located on a roof if at least 30 % of the roof terrace is designed as a Vegetated or Green Roof. A Vegetated or Green roof is defined as an assembly or system over occupied space that supports an area of planted beds, built up on a waterproofed surface.

Private common open space on a roof must be screened from the view of the adjacent property. The hardscape should accommodate circulation, gathering, seating, and shade.

Typical Characteristics

General Character

Small scale private common open space on roof top

Screened from view of adjacent property

Vegetated portion critical

Hardscape should accommodate gathering, seating, shade

Provides common open space that might not be available at grade

Standards

Min. Area 50% of the roof top

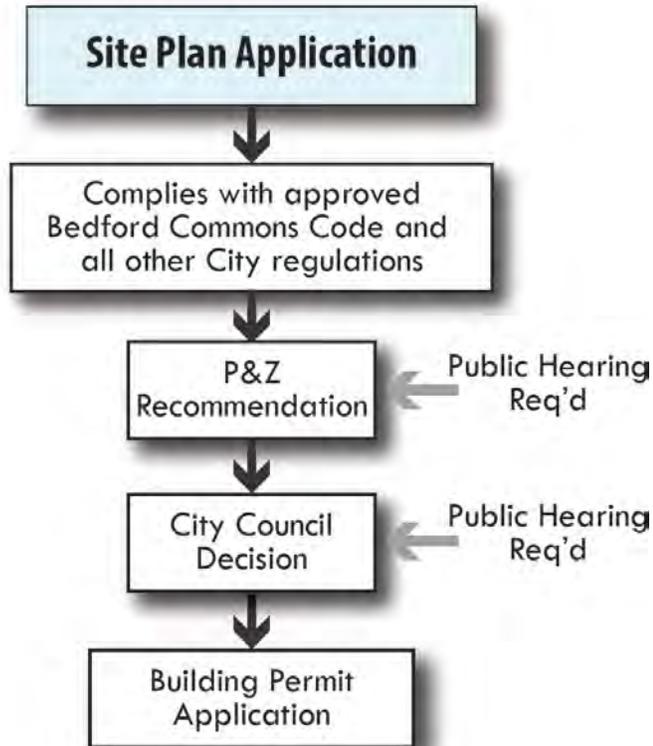
Planted area – 30% min.

Typical Uses

Gathering for tenants and residents

Green Roof

Attachment A-6
Development Review Process Flow Chart



**Attachment A-7
Planting List**

The following lists contain all species approved for use in Bedford Commons. It contains native and acceptable adapted species. Other species that are drought tolerant and adaptive may be used for planting within the Bedford Commons. The use of alternative species may be permitted with the approval of the City.

CANOPY/STREET TREE LIST

<u>Common Name</u>	<u>Botanical Name</u>
Live Oak	<i>Quercus virginiana</i>
Red Oak	<i>Quercus shumardi</i>
Bald Cypress	<i>Taxodium distichum</i>
Sweetgum	<i>Liquidambar styraciflua</i>
Cedar Elm	<i>Ulmus crassifolia</i>
Lacebark Elm	<i>Ulmus parvifolia</i>
Bigtooth Maple	<i>Acer grandidentatum</i>
Caddo Maple	<i>Acer saccharum 'Caddo'</i>
Texas Ash	<i>Fraxinus velutina 'Rio Grande'</i>
Bur Oak	<i>Quercus macrocarpa</i>
Chinquapin Oak	<i>Quercus muhlenbergii</i>
Escarpment Live Oak	<i>Quercus fusiformis</i>
Ginkgo	<i>Ginkgo biloba</i>

ORNAMENTAL TREE LIST

<u>Common Name</u>	<u>Botanical Name</u>
Yaupon Holly	<i>Ilex vomitoria</i>
Crape Myrtle	<i>Lagerstromia indica</i>
Deciduous Yaupon	<i>Ilex decidua</i>
Southern Crabapple	<i>Malus app.</i>
Chinese Pistache	<i>Pistacia chinensis</i>
Mexican Plum	<i>Prunus Mexicana</i>
Wax Myrtle	<i>Myricacarifera</i>
Chitalpa	<i>Chitalpatashkentensis</i>
Deciduous Holly	<i>Ilex decidua</i>
Desert Willow	<i>Chilopsis linearis</i>
Eve's Necklace	<i>Sophora affinis</i>

SHRUBS LIST

<u>Common Name</u>	<u>Botanical Name</u>
Dwarf Nandina	<i>Nandina domestica 'nana'</i>
Dwarf Burford Holly	<i>Ilex cornuta 'burfordi nana'</i>
Abelia Grandiflora	<i>Abelia grandiflora</i>
Barberry	<i>Barberry spp.</i>
Yucca (Red, Yellow or Soft Tip)	<i>Hesperaloe parviflora</i>
Texas Sage	<i>Leucophyllum frutescens</i>
Indian Hawthorn	<i>Raphiolepis indica</i>
Dwarf Crape Myrtle	<i>Lagerstromia indica 'nana'</i>
Dwarf Yaupon Holly	<i>Ilex vomitoria 'nana'</i>
Pampas Grass	<i>Cortaderia selloana</i>

Black-Eyed Susan	<i>Rudbeckiahirta</i>
Dwarf Wax Myrtle	<i>Myricapusilla</i>
Needlepoint Holly	<i>Ilex cornuta 'Needle Point'</i>
Knockout Rose	<i>Rosa 'Knock Out'</i>
Rosemary	<i>Rosmarinusofficinalis</i>

GROUND COVER/VINES LIST

<u>Common Name</u>	<u>Botanical Name</u>
Asian Jasmine	<i>TrachelosperumAsiaticum</i>
Big Blue Liriope	<i>Liriopemuscar</i>
Mondograss	<i>Ophiopogonjaponicus</i>
Purple Winter Creeper	<i>Euonymumcoloratus</i>
Santolina	<i>Santolinavirens</i>
Trumpet Vine	<i>Campsisradicans</i>
Virginia Creeper	<i>Parthenocissusquinquifolia</i>
Lady Banks Rose	<i>Rosa banksiawlutea</i>
Confederate Jasmine	<i>Trachelospermumjasminoides</i>
Crossvine	<i>Bignonia capreolata</i>
Evergreen Wisteria	<i>Millettiareticulata</i>
Lantana 'New Gold'	<i>Lantanacamara 'New Gold'</i>
Liriope 'Silver Dragon'	<i>Liriopemuscar'Silver Dragon'</i>
Prostrate Rosemary	<i>Rosmarinusofficinalisprostrata</i>
Sweet Autumn Clematis	<i>Clematis terniflora</i>

ORNAMENTAL GRASSES LIST

<u>Common Name</u>	<u>Botanical Name</u>
Dwarf Fountain Grass 'Little Bunny'	<i>Pennisetumalopecuroides'Little Bunny'</i>
Dwarf Maiden Grass	<i>Miscanthussinensis 'Adagio'</i>
Fountain Grass	<i>Pennisetumalopecuroides</i>
Inland Sea oats	<i>Chasmanthiumlatifolium</i>
Maiden Grass	<i>Miscanthussinensis 'Gracillimus'</i>
Mexican Feather Grass	<i>Stipatenuissima</i>
Muhly Grass	<i>Muhlenbergiacapillaris</i>
Weeping Lovegrass	<i>Eragrostiscurvula</i>

TURF

<u>Common Name</u>	<u>Botanical Name</u>
Bermuda	<i>Cynodondactylon</i>
St. Augustine	<i>Stenotaphrumsecondatum</i>
Zoysia	<i>Zoysiatenuifolia</i>

These plantings may be placed in Civic/Open Spaces or used to meet the private landscaping requirements of the Code. The applicant shall select drought tolerant, low maintenance, and adaptable shrubs and ground cover based on the placement on the site subject to approval by the City.